



COUNTY OF MENDOCINO
DEPARTMENT OF PLANNING AND BUILDING SERVICES
 860 NORTH BUSH STREET · UKIAH · CALIFORNIA · 95482
 120 WEST FIR STREET · FT. BRAGG · CALIFORNIA · 95437

STEVE DUNNICLIFF, DIRECTOR
 TELEPHONE: 707-234-6650
 FAX: 707-463-5709
 FB PHONE: 707-964-5379
 FB FAX: 707-961-2427
 pbs@co.mendocino.ca.us
 www.co.mendocino.ca.us/planning

February 11, 2015

Planning - FB/MHRB
 Department of Transportation
 Environmental Health - Ukiah/Fort Bragg
 Building Inspection - Ukiah/Fort Bragg
 Assessor

County Water Agency- PBS
 Archaeological Commission-Dusty Duley
 Sonoma State University
 Native Plant Society
 Department of Forestry/ CalFire

Department of Fish and Wildlife
 Coastal Commission
 US Fish & Wildlife Service
 Gualala Municipal Advisory Council
 * South Coast Fire District

CASE#: CDP_2011-0023

DATE FILED: 10/13/2011

OWNER/APPLICANT: IRVING & RITA STEVENSON

PROJECT COORDINATOR: JULIA ACKER

REQUEST: Coastal Development Permit to construct a single family residence, garage, workshop, and associated development.

LOCATION: In the Coastal Zone, lying on the west side of Fish Rock Road, 0.20± miles north of its intersection with Highway 1. Located at 46800 Fish Rock Road, Gualala; APN 144-012-10.

RESPONSE DUE DATE: February 27, 2015

Attached to this form is information describing the above noted project(s). The County Planning and Building Services Department is soliciting your input, which will be used in staff analysis, and will be forwarded to the appropriate public hearing.

You are invited to comment on any aspect of the proposed project(s). Please convey any requirements or conditions your agency requires for project compliance to the project coordinator at the above address, or submit your comments by email to pbs@co.mendocino.ca.us. Please note the case number and name of the project coordinator with all correspondence to this department.

We have reviewed the above application and recommend the following (please check one):

- No comment at this time.
- Recommend conditional approval (attached).
- Applicant to submit additional information (attach items needed, or contact the applicant directly, copying Planning and Building Services in any correspondence you may have with the applicant)
- Recommend denial (Attach reasons for recommending denial).
- Recommend preparation of an Environmental Impact Report (attach reasons why an EIR should be required).
- Other comments (attach as necessary).

REVIEWED BY:

Signature _____ Department _____ Date _____

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OWNER/APPLICANT: STEVENSON IRVING AND RITA

REQUEST: To construct a single family residence, garage, workshop, and associated development.

LOCATION: In the Coastal Zone, located on the west side of Fish Rock Road, approximately 0.20 miles north of its intersection with Highway 1, located at 46800 Fish Rock Road (APN 144-012-10).

ACREAGE: 0.97 Acres

GENERAL PLAN: RR5(2) ZONING: RR-L-5(RRL-2) COASTAL ZONE: Rural

EXISTING USES: Vacant, Disturbed site from timber harvest SUPERVISORIAL DISTRICT: 5

TOWNSHIP: RANGE: SECTION: USGS QUAD: 70

RELATED CASES ON SITE: ST 26297 Septic System for residence, ZC 2011-0011 for major vegetation removal
 RELATED CASES IN VICINITY:

	ADJACENT GENERAL PLAN	ADJACENT ZONING	ADJACENT LOT SIZES	ADJACENT USES
NORTH:	RR5(2)	RR-L-5(RRL-2)	2.83 Acres	Single Family Residential
EAST:	RR5(2)	RR-L-5(RRL-2)	2.08 Acres	Single Family Residential
SOUTH:	RR5(2)	RR-L-5(RRL-2)	3.4 Acres	Single Family Residential
WEST:	RR5(2)	RR-L-5(RRL-2)	1.8 Acres	Vacant/Barren

REFERRAL AGENCIES:

<input checked="" type="checkbox"/> Planning (Plan)	<input type="checkbox"/> Title Agency Contact	<input type="checkbox"/> CHP
<input checked="" type="checkbox"/> Department of Transportation	<input checked="" type="checkbox"/> Native Plant Society	<input type="checkbox"/> MTA
<input checked="" type="checkbox"/> Environmental Health (EH)	<input type="checkbox"/> State Clearinghouse	<input type="checkbox"/> County Addresser
<input checked="" type="checkbox"/> Building Inspection (BI)	<input type="checkbox"/> Caltrans	<input type="checkbox"/> EATCO
<input type="checkbox"/> Emergency Services	<input checked="" type="checkbox"/> CalFire	<input checked="" type="checkbox"/> Coastal MAC
<input type="checkbox"/> Assessor	<input checked="" type="checkbox"/> Department of Fish & Game	<input checked="" type="checkbox"/> Eureka MAC
<input type="checkbox"/> Water Affairs	<input checked="" type="checkbox"/> Justice Commission	<input checked="" type="checkbox"/> Westport MAC
<input type="checkbox"/> Agriculture Commissioner	<input type="checkbox"/> SWOOP	<input type="checkbox"/> School District
<input type="checkbox"/> County Attorney	<input type="checkbox"/> Division of Mineral Geology	<input type="checkbox"/> Sewer District
<input type="checkbox"/> Air Quality Management District	<input type="checkbox"/> Department of Health Services	<input type="checkbox"/> Water District
<input type="checkbox"/> AEDC	<input type="checkbox"/> Department of Parks & Recreation	<input checked="" type="checkbox"/> Fire District - South Coast
<input checked="" type="checkbox"/> County Water Agency	<input type="checkbox"/> Department of Conservation	<input type="checkbox"/> Community Svcs
<input type="checkbox"/> Archaeological Commission	<input type="checkbox"/> Soil Conservation Service	<input type="checkbox"/> City Planning
<input type="checkbox"/> Sonoma State University	<input type="checkbox"/> Army Corps of Engineers	
<input checked="" type="checkbox"/> US Fish & Wildlife Service		
<input type="checkbox"/>	<input type="checkbox"/> Russian River Flood Control/Water Conservation Improvement District	

ADDITIONAL INFORMATION:

ASSESSOR'S PARCEL #: 144-012-10

PROJECT COORDINATOR: JULIA ACKER PREPARED BY: JULIA ACKER DATE: 2/11/2015

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ENVIRONMENTAL DATA
(To be completed by Planner)

COUNTY WIDE

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 1. Alquist-Prilo Earthquake Fault Zone - Geotechnical Report #GS |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 2. Hazard/Landslides Map |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 3. Floodplain/Floodway Map - Flood Hazard Development Permit #FP |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 4. Within/Adjacent to Agriculture Preserve or Timberland Production |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. Fire Hazard Severity Classification: <input type="checkbox"/> LRA <input checked="" type="checkbox"/> SRA-CDF# 183-12
High |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. Wild and Scenic River |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 7. Adjacent to State Forest/Park/Recreation Area |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 8. Adjacent to Equestrian/Hiking Trail |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 9. Within/Near Hazardous Waste Site |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 10. Require Water Efficient Landscape Plan |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 11. Biological Resources/Natural Area Map |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 12. Natural Diversity Data Base
Pacific gull, monarch butterfly |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 13. Soil Type(s)/Pygmy Soils
Abrahamiah-Bristol-Vizama Complex 30-50% Slopes, Oumliven-Pennacook Complex 2-15% Slopes |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 14. Airport CLUP Planning Area - APUCA |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 15. Specific Plan Area |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16. State Permitting Required/State Clearinghouse Review |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17. Oak Woodland Area |

COASTAL ZONE

- | Yes | No | |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 16. Exclusion Map
Not eligible for Categorical Exclusion Request because majority of parcel contains slopes greater than 20% including the area of proposed construction of the residence. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 17. Appealable Area/Original Jurisdiction Map |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 18. Land Use Planning Map
Removal of vegetation within an Environmentally Sensitive Habitat Area |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 19. Land Capabilities/Natural Hazards Map
10-Ancor Bay
High Productivity Timberland |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 20. Habitats/ESHA/Resources Map |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 21. Coastal Groundwater Study Zone
Critical Water Resources (CWR) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 22. Highly Scenic Area/Special Communities |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 23. Ocean Front Parcel (Blufftop Geology) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 24. Adjacent to beach/islands/unimproved land/Public Trust Land |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 25. Nova Harbor/Albion Harbor |

COUNTY OF MENDOCINO
DEPT OF PLANNING & BUILDING SERVICES
790 SOUTH FRANKLIN STREET
FORT BRAGG, CA 95437
Telephone: 707-964-5379

Case No(s) CDP 23-2011
CDF No(s)
Date Filed
Fee \$
Receipt No.
Received by
Office Use Only

COASTAL DEVELOPMENT PERMIT APPLICATION FORM

Name of Applicant <u>IRVING & RITA STEVENSON</u>	Name of Owner(s) <u>[Signature]</u>	Name of Agent <u>[Signature]</u>
Mailing Address <u>5424 BECKY Way CARM. CA. 95608</u>	Mailing Address <u>[Signature]</u>	Mailing Address <u>[Signature]</u>
Telephone Number <u>916-769-1321</u>	Telephone Number <u>[Signature]</u>	Telephone Number <u>[Signature]</u>

I certify that the information submitted with this application is true and accurate.

[Signature] 7-13-2014
Signature of Applicant/Agent Date Signature of Owner Date

Driving Directions:
The site is located on the E. (N/S/E/W) side of Hwy 1 (name road)
approximately .20 (feet/miles) W (N/S/E/W) of its intersection with
FISH ROCK Rd. / Hwy 1. (provide nearest major intersection).

Assessor's Parcel Number(s)
144-012-1000

Parcel Size <u>.97 AC.</u> <input type="checkbox"/> Square Feet <input checked="" type="checkbox"/> Acres	Street Address of Project <u>46900 FISH ROCK Rd.</u> <small>Please note: Before submittal, please verify correct street address with the Planning Division in Ukiah.</small>
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COASTAL DEVELOPMENT PERMIT APPLICATION QUESTIONNAIRE

The purpose of this questionnaire is to relate information concerning your application to the Planning & Building Services Department and other agencies who will be reviewing your project proposal. The more detail that is provided, the easier it will be to promptly process your application. Please answer all questions. Those questions which do not pertain to your project, please indicate "Not Applicable" or "N/A".

1. Describe your project and include secondary improvements such as wells, septic systems, grading, vegetation removal, roads, driveways, propane tanks, oil tanks, water storage tanks, solar panels, etc.

A PROPOSED PROJECT CONSISTING OF 1603^{sq} RESIDENT, GARAGE 520^{sq}, & WORK SHOP 600^{sq} w. SOLAR PANELS. SEPTIC HAS BEEN ENGINEERED FOR A 2BD/2BATH RESIDENT. CONSTRUCT NEW DRIVEWAY & GUEST PARKING. INSTALL WELL

2. If the project is residential, please complete the following:

TYPE OF UNIT	NUMBER OF STRUCTURES/UNITS	EXISTING SQ FEET PER STRUCTURE	PROPOSED SQ FEET PER STRUCTURE	TOTAL SQ FEET PER STRUCTURE
<input checked="" type="checkbox"/> Single Family	_____	_____	1603 ^{sq}	1603 ^{sq}
<input type="checkbox"/> Mobile Home	_____	_____	_____	_____
<input type="checkbox"/> Duplex/Multifamily	_____	_____	_____	_____
<input type="checkbox"/> Detached Structures (List individually)	_____	_____	_____	_____
<input checked="" type="checkbox"/> GARAGE	_____	_____	520 ^{sq}	520 ^{sq}
<input checked="" type="checkbox"/> WORKSHOP	_____	_____	600 ^{sq}	600 ^{sq}

3. Are there existing structures on the property? Yes No
If yes, describe below and identify the use of each structure on the site plan.

4. Utilities will be supplied to the site as follows:

- A. Electricity
 Utility Company (service exists to the parcel).
 Utility Company (requires extension of services to site: 20 feet _____ miles)
 On Site generation, Specify: _____
 None
- B. Gas
 Utility Company/Tank
 None
- C. Telephone: Yes No

5. Will there be any new exterior lighting? Yes No
If yes, provide lighting details and specifications for all exterior lighting fixtures. Please ensure that all fixtures are downcast and shielded. Identify the location of all exterior lighting on the site plan and building plans.
All EXTERIOR LIGHTINGS WILL BE DOWN CAST.

6. What will be the method of sewage disposal?

- Community sewage system, specify supplier _____
 Septic Tank (indicate primary + replacement leachfields on plot plan)
 Other, specify _____

7. What will be the domestic water source?

- Community water system, specify supplier _____
 Well On-site Off-site
 Spring On-site Off-site
 Other, specify _____

8. Is any grading including road/driveway construction planned? Yes No

Estimate the amount of grading (cut and fill quantities) in cubic yards: 30 ± c.y. Please indicate on the site plan the areas and quantities of grading. **If greater than 50 cubic yards or if greater than 2 feet of cut or 1 foot of fill will result, please provide a grading plan.**

Estimate the length of the proposed road/driveway: 150 feet.

Describe the terrain to be traversed (e.g., steep, moderate slope, flat, etc.).

SLIGHT SLOPE TO MODERATE

9. Will vegetation be removed to accommodate the proposed project? Yes No
If yes, explain:

How many trees will be removed as a result of the project: 0. Indicate on the site plan all trees to be removed which are greater than 12-inches in diameter (measured four feet from the ground). If applicable, please indicate on the site plan the size, location and species of all on-site trees that provide screening from public view areas.

10. Will the proposed development be visible from:

A. State Highway 1? Yes No

B. Park, beach, or recreation area? Yes No

If you answered yes to either question, explain.

11. Project Height. Maximum height of structure(s): 19' feet

12. Describe all exterior materials and colors of all proposed structures.

Siding material	<u>LAP BOARD SHINGLES HANDY BOARD</u>	Color	<u>Rwd. w/ STAIN</u>
Trim material	<u>CELANO OR RWD. W/ TRIM</u>	Color	<u>WHITE</u>
Chimney material	<u>SAME LAP BOARD</u>	Color	<u>Rwd. w. STAIN</u>
Roofing material	<u>40 YR. BLACK</u>	Color	<u>BLACK</u>
Window frame material	<u>FR FIBERGLASS ORIGINAL</u>	Color	<u>WHITE</u>
Door material	<u>FIBERGLASS</u>	Color	<u>WHITE OR STAINED</u>
Fencing material	<u>Rwd. w/</u>	Color	<u>STAINED</u>
Retaining walls material	<u>Ø</u>	Color	<u>Ø</u>
Other exterior materials	<u>Ø</u>	Color	<u>Ø</u>

13. Are there any water courses, anadromous fish streams, sand dunes, rookeries, marine mammal haul-out areas, wetlands, riparian areas, pygmy vegetation, threatened, rare or endangered plants/communities, animals or habitat which support rare and endangered species located on the project site or within 100 feet of the project site?

Yes No

If yes, please describe the resource and attach any biological/botanical reports:

14. If the project is commercial, industrial, or institutional, complete the following:

Total square footage of all structures: _____
Estimated employees per shift: _____
Estimated shifts per day: _____
Type of loading facilities proposed: _____

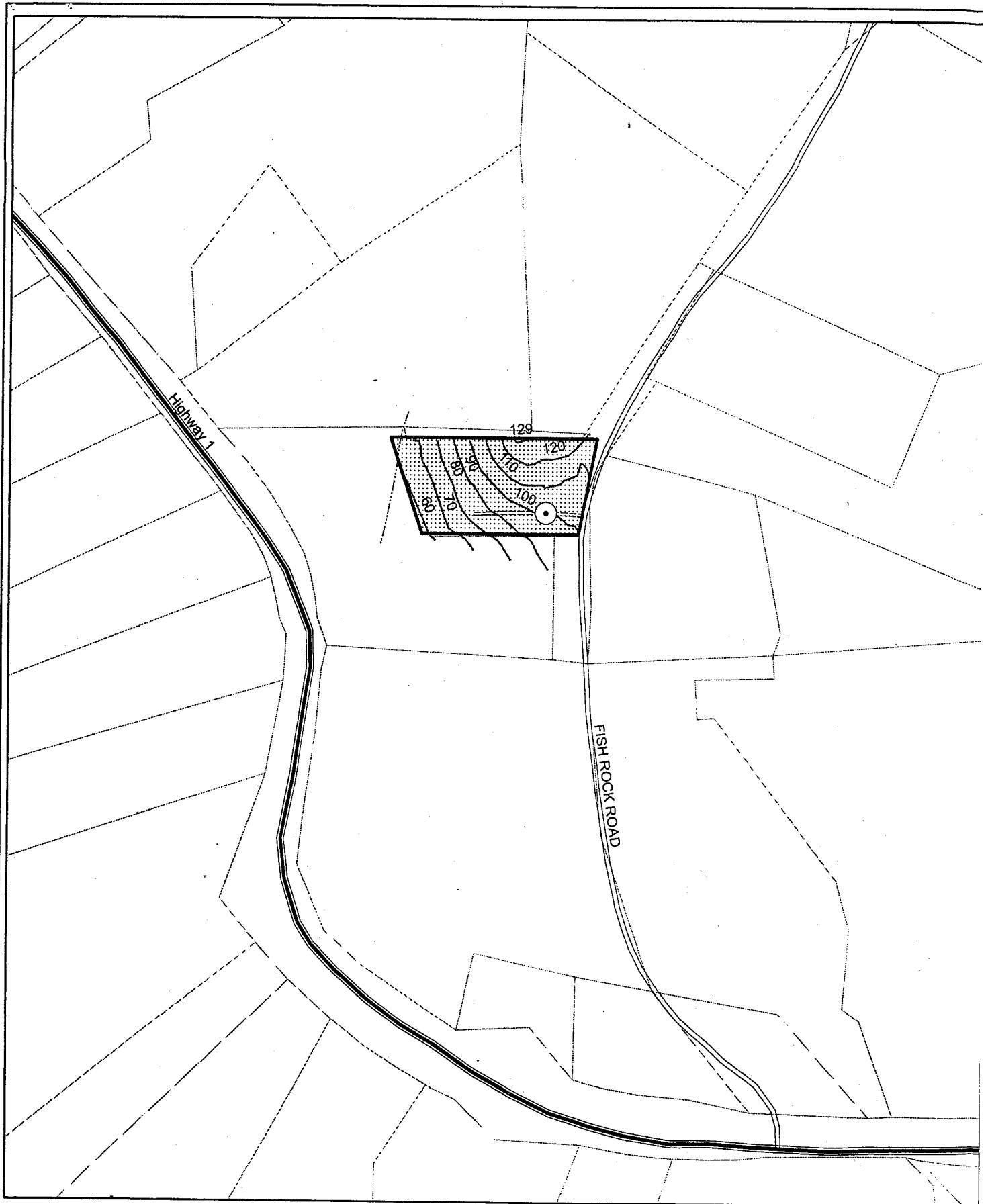
Will the proposed project be phased? Yes No

If Yes, explain your plans for phasing.

Parking will be provided as follows:

Number of Spaces Existing: _____ Proposed: _____ Total: _____

Number of standard spaces: _____ Size: _____
Number of handicapped spaces: _____ Size: _____



Stevenson Less Than 3 Acre Conversion Site Map

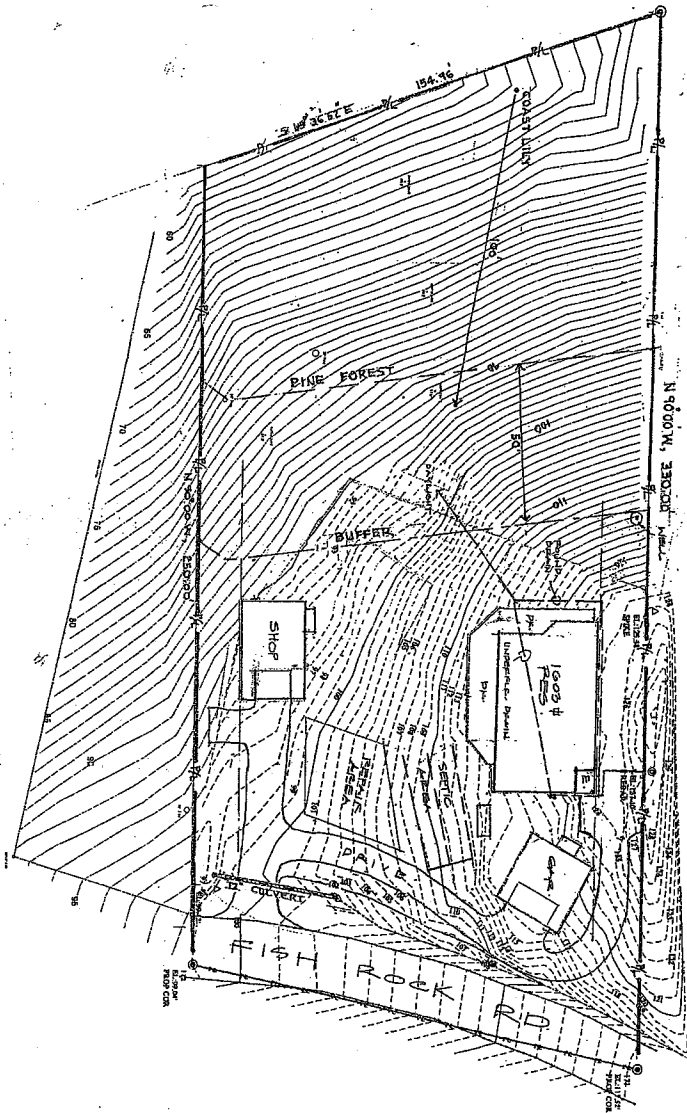


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Stevenson Conversion
 Portion of Section 18 T11N R15W

Legend

-  Landing
-  Conversion Boundary
- Parcels



SCALE: 1" = 20'-0"



ABBREVIATIONS

AD	ADJUSTED	ADJUSTED	ADJUSTED
AL	ALIGNED	ALIGNED	ALIGNED
AS	ASSEMBLED	ASSEMBLED	ASSEMBLED
...

GEN. NOTES

- 1) ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE UNLESS SPECIFIED OTHERWISE.
- 2) ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE UNLESS SPECIFIED OTHERWISE.
- 3) ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE UNLESS SPECIFIED OTHERWISE.
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- 10) ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE UNLESS SPECIFIED OTHERWISE.

SITE PLAN

SCALE: 1" = 20'-0"
ASSESSOR'S PARCEL NUMBER

OWNER:

IRVING / RITA STEVENSON
CARLSBAD, CA 92008
(919) 768-1121

SITE ADDRESS:

46800 FISH ROCK RD.
ANCHOR BAY, CA

SCOPE OF WORK:

CONSTRUCT A ONE STORY RESIDENCE
BY ARCHITECT'S OVERSIGHT

SQUARE FOOTAGE TOTALS:

RESIDENCE: 1,603 sq ft
1ST FLOOR: 1,603 sq ft
TOTAL DWGS: 1,603 sq ft
UNLIMITED ATTACHED: 3,442 sq ft
UNCOVERED DECK: 594 sq ft
COVERED FRONT PORCH: 671 sq ft
GARAGE: 350 sq ft
SHOP: 600 sq ft

SHEET INDEX

- 1 SITE PLAN / OWNER INFO / NOTES
- 2 EXTERIOR ELEVATIONS
- 3 FOUNDATION PLAN
- 4 FLOOR FRAMING PLAN
- 5 ROOF FRAMING PLAN
- 6 STRUCTURAL SECTIONS
- 7 ELECTRICAL PLAN
- 8 DETACHED STRUCTURES / GARAGE / SHOP
- 9 FLOOR PLAN / GARAGE & SHOP
- 10 EX. ELS / GAR. & SHOP
- 11 FOUNDATION PLAN
- 12 ROOF FRAMING PLAN
- 13 STRUCTURAL SECTIONS
- 14 SYMBOLS
- 15 SYMBOLS / SCHEDULES / FINISHES
- 16 NOTES / SCHEDULES / FINISHES
- 17 S01 STRUCTURAL DETAILS / FOUNDATION
- 18 S02 STRUCTURAL DETAILS / WALL FRAMING
- 19 S03 STRUCTURAL DETAILS / ROOF FRAMING
- 20 S04 STRUCTURAL DETAILS / ROOF FRAMING
- 21 S05 STRUCTURAL DETAILS / INSULATION - FLASHING
- 22 S06

ATTACHED TITLE 24 ENERGY CALC. (BY OTHERS)
ATTACHED STRUCTURAL DETS. & CALCS. (BY OTHERS)
SITE MAP & TOPO WAS SUPPLIED BY CLIENT.

SYMBOLS

- 1 OPEN SQUARE: SITE BOUNDARY
- 2 OPEN TRIANGLE: STREET BOUNDARY
- 3 OPEN CIRCLE: SETBACK BOUNDARY
- 4 OPEN DIAMOND: ELECTRICAL / HVAC SYMBOLS ARE SHOWN ON SHEET H-2

CALIFORNIA-WESTERN ARCHITECTURAL GROUP
ARCHITECTS • ENGINEERS • PLANNERS
1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA 95825
CONTACT NUMBER: (916) 923-8447
SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO

IRVING / RITA STEVENSON RESIDENCE
46800 FISH ROCK RD.
ANCHOR BAY, CALIFORNIA

PROJECT
DATE: SPRING 2013
DRAWING NO.:
SCALE: 1" = 20'-0"
SHEET: 1 OF 29 SHEETS
DRAWN: [Signature]

THIS DRAWING AND ANY INFORMATION CONTAINED HEREIN ARE SUBJECT TO THE GENERAL TERMS AND CONDITIONS OF THE ARCHITECTURAL AGREEMENT. CALIFORNIA WESTERN ARCHITECTURAL GROUP

FLOOR PLAN KEY

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.

3. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.

4. ALL WINDOWS ARE 36" WIDE UNLESS NOTED OTHERWISE.

5. ALL CABINETS ARE 36" WIDE UNLESS NOTED OTHERWISE.

6. ALL COUNTERTOPS ARE 3/4" THICK UNLESS NOTED OTHERWISE.

7. ALL FLOORS ARE 1/2" THICK UNLESS NOTED OTHERWISE.

8. ALL CEILING ARE 8' HIGH UNLESS NOTED OTHERWISE.

9. ALL ROOFS ARE 12/12 UNLESS NOTED OTHERWISE.

10. ALL STAIRS ARE 36" WIDE UNLESS NOTED OTHERWISE.

11. ALL HALLS ARE 36" WIDE UNLESS NOTED OTHERWISE.

12. ALL BATHS ARE 36" WIDE UNLESS NOTED OTHERWISE.

13. ALL KITCHENS ARE 36" WIDE UNLESS NOTED OTHERWISE.

14. ALL LIVING AREAS ARE 36" WIDE UNLESS NOTED OTHERWISE.

15. ALL DINING AREAS ARE 36" WIDE UNLESS NOTED OTHERWISE.

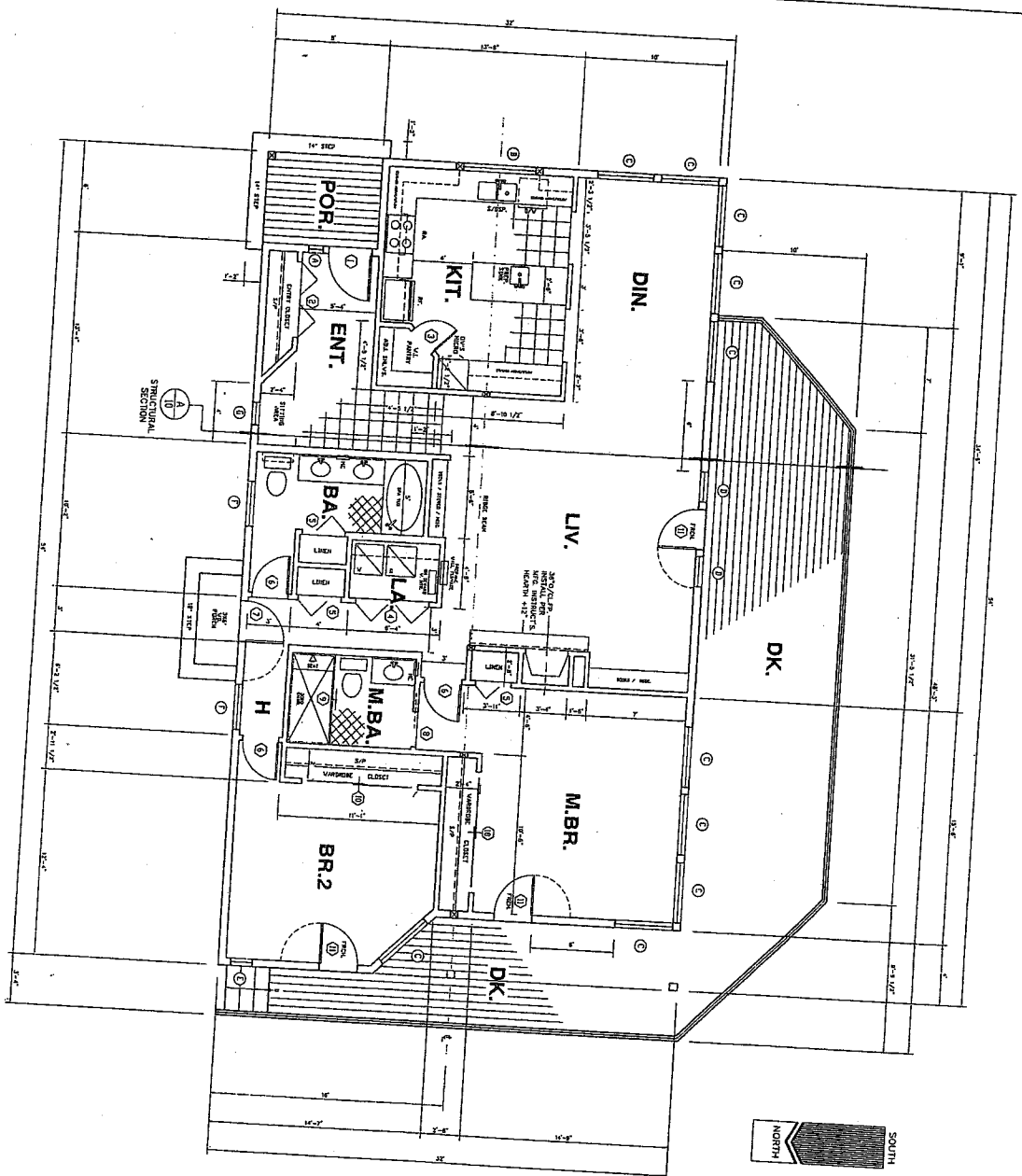
16. ALL BEDROOMS ARE 36" WIDE UNLESS NOTED OTHERWISE.

17. ALL BATHS ARE 36" WIDE UNLESS NOTED OTHERWISE.

18. ALL HALLS ARE 36" WIDE UNLESS NOTED OTHERWISE.

19. ALL STAIRS ARE 36" WIDE UNLESS NOTED OTHERWISE.

20. ALL ROOFS ARE 12/12 UNLESS NOTED OTHERWISE.



FLOOR PLAN
RESIDENCE

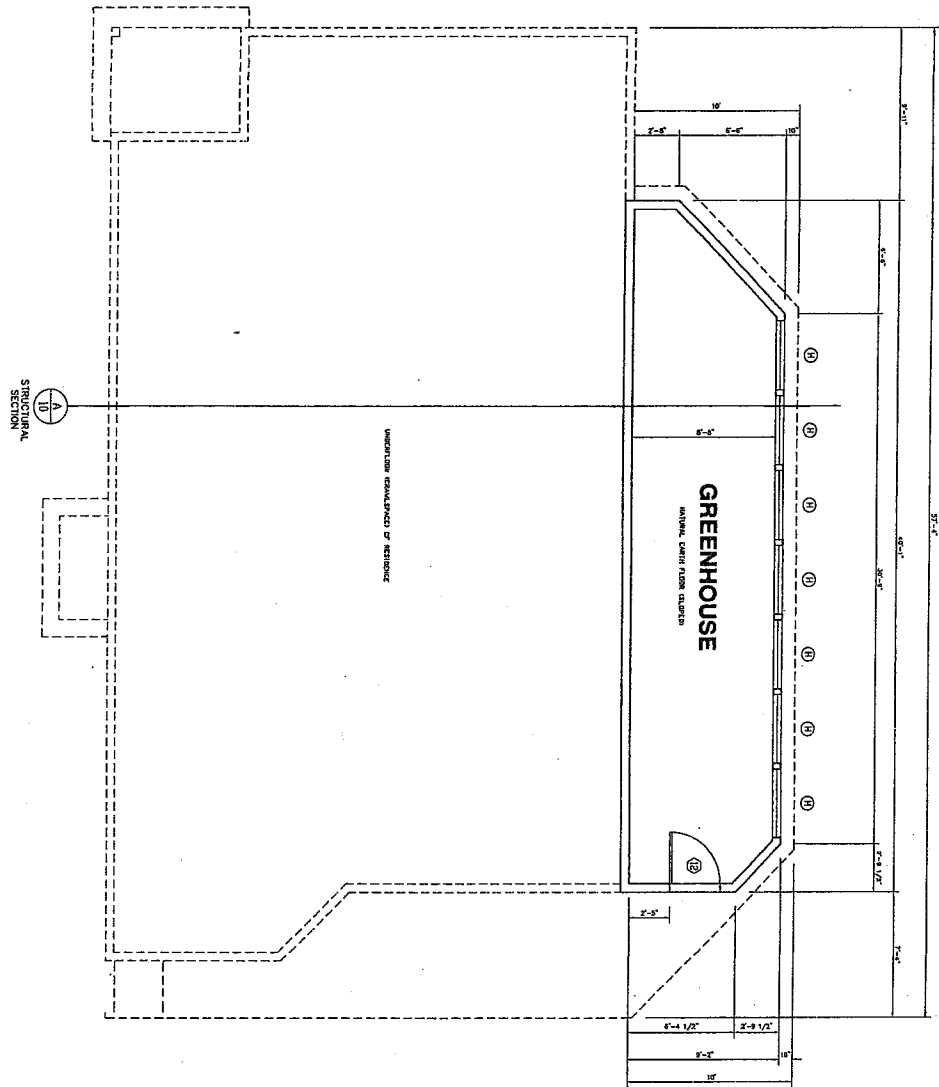
1" = 2'-0"
2" = 4'-0"
5" = 10'-0"
10" = 20'-0"
DRAWING / GRAPHIC SCALE 1/4" = 1'-0"



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PROJECT IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA	CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER : (916) 923-8447 SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO	MODIFICATIONS
DRAWN BY RB	CHECKED / APPROVED	SHEET 2 OF 28 SHEETS <small>GRAPHIC SCALE 1/4" = 1'-0"</small>

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FLOOR PLAN
GREENHOUSE



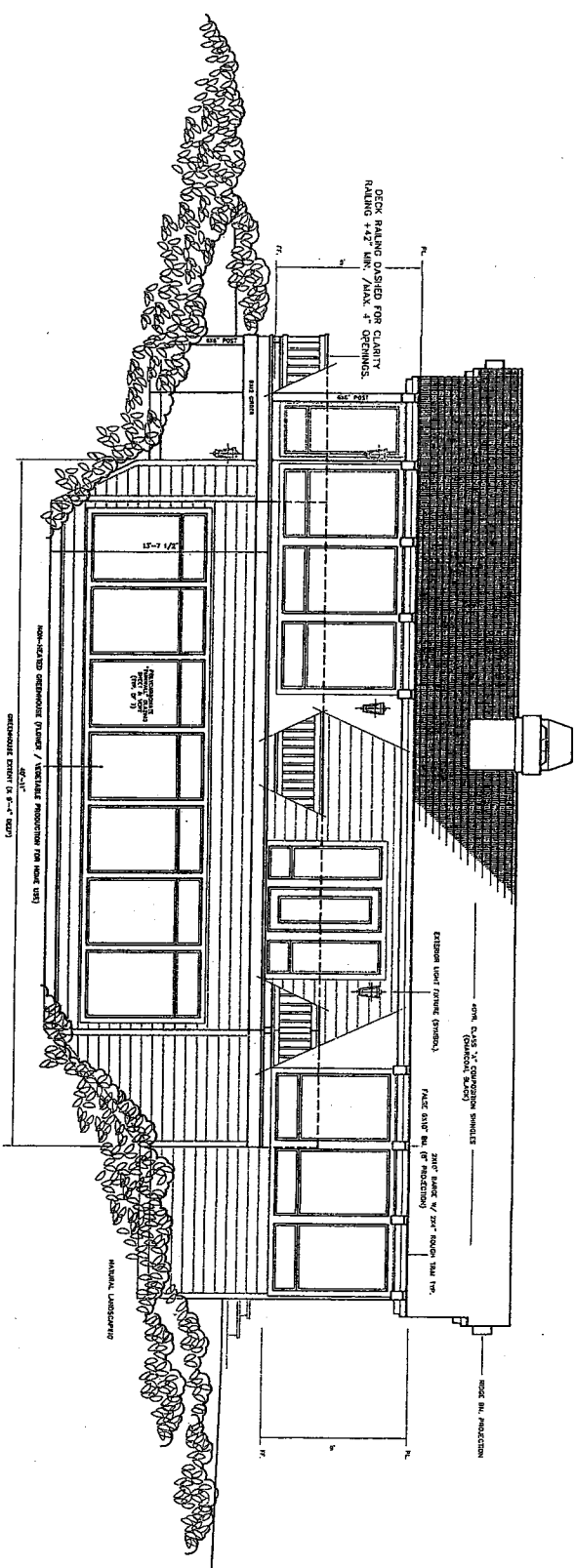
<p>OF 28 SHEETS SHEET 3</p>	<p>IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA</p>	<p>CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER : (916) 923-6447 SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO</p>	<p>MODIFICATIONS</p>
<p>PROJECT: _____ DATE: _____ DRAWN: RB SCALE: 1/4" = 1'-0" CHECKED / APPROVED: _____</p>			

ALL DRAWINGS AND INFORMATION CONTAINED HEREIN ARE SUBJECT TO CHANGE WITHOUT NOTICE. PROJECT NO. 13-000000-0000
 CALIFORNIA WESTERN ARCHITECTURAL GROUP

B

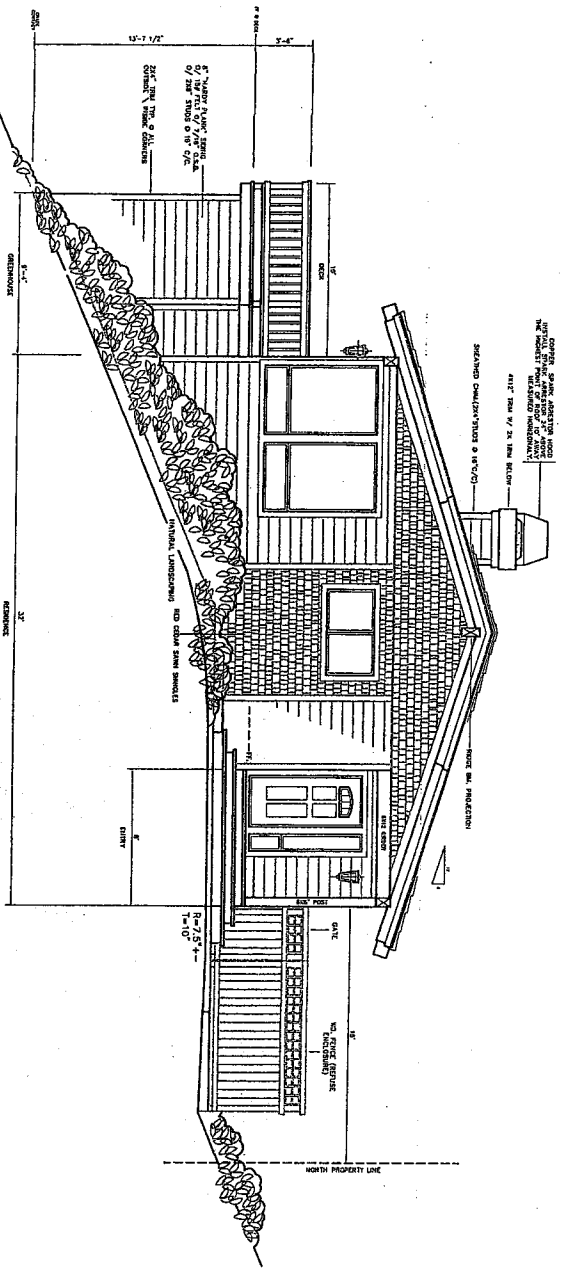
EXTERIOR ELEVATION / SOUTH

1" = 2'-0"
 3" = 5'-0"
 10" = 15'-0"
 DRAWING / GRAPHIC SCALE : 1/4" = 1'-0"



A

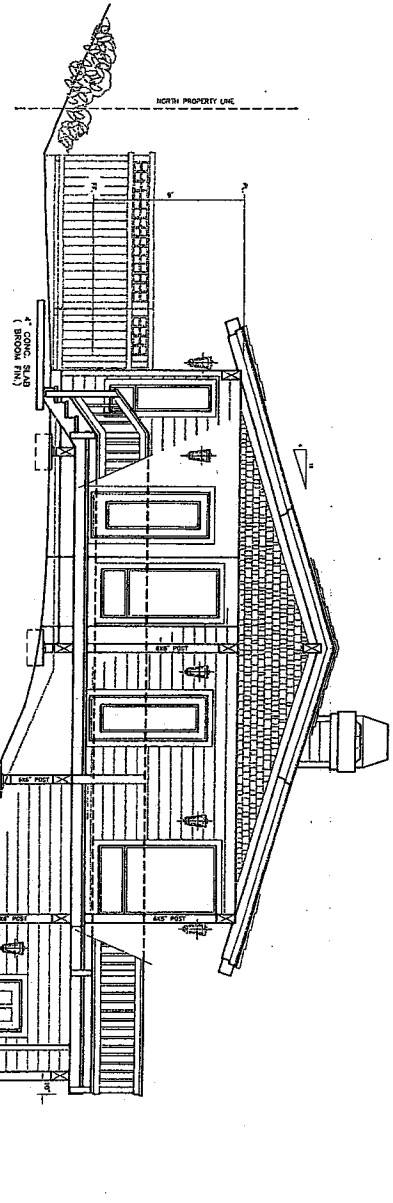
EXTERIOR ELEVATION / EAST



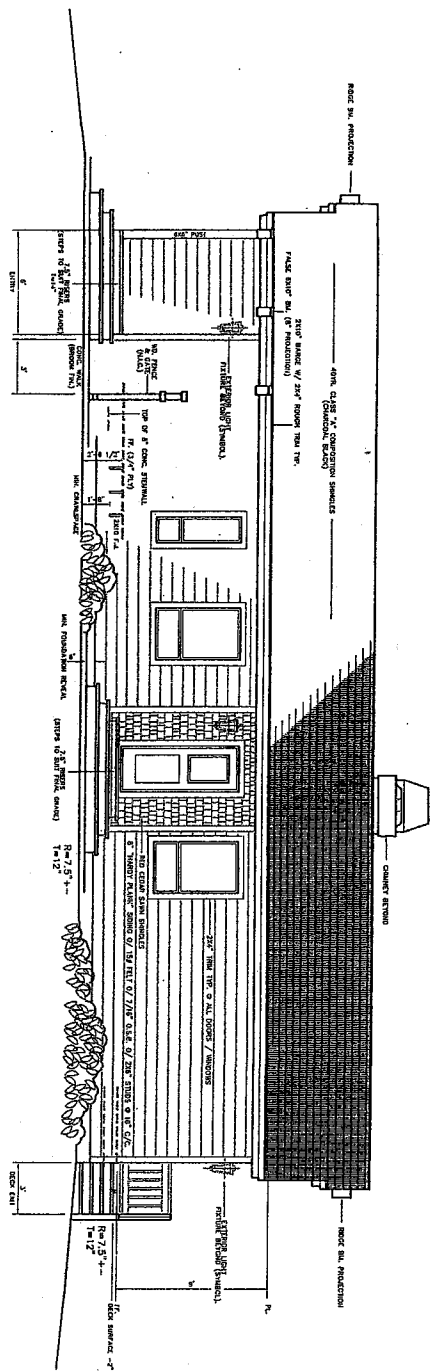
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OF 28 SHEETS SHEET 4	PROJECT IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA	ARCHITECTS • ENGINEERS • PLANNERS CALIFORNIA-WESTERN ARCHITECTURAL GROUP 1340 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER : (916) 923-8447	MODIFICATIONS
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A
EXTERIOR ELEVATION / WEST



B
EXTERIOR ELEVATION / NORTH

1" = 2'-0"
2" = 4'-0"
5" = 10'-0"
DRAWING / GRAPHIC SCALE : 1/4" = 1'-0"

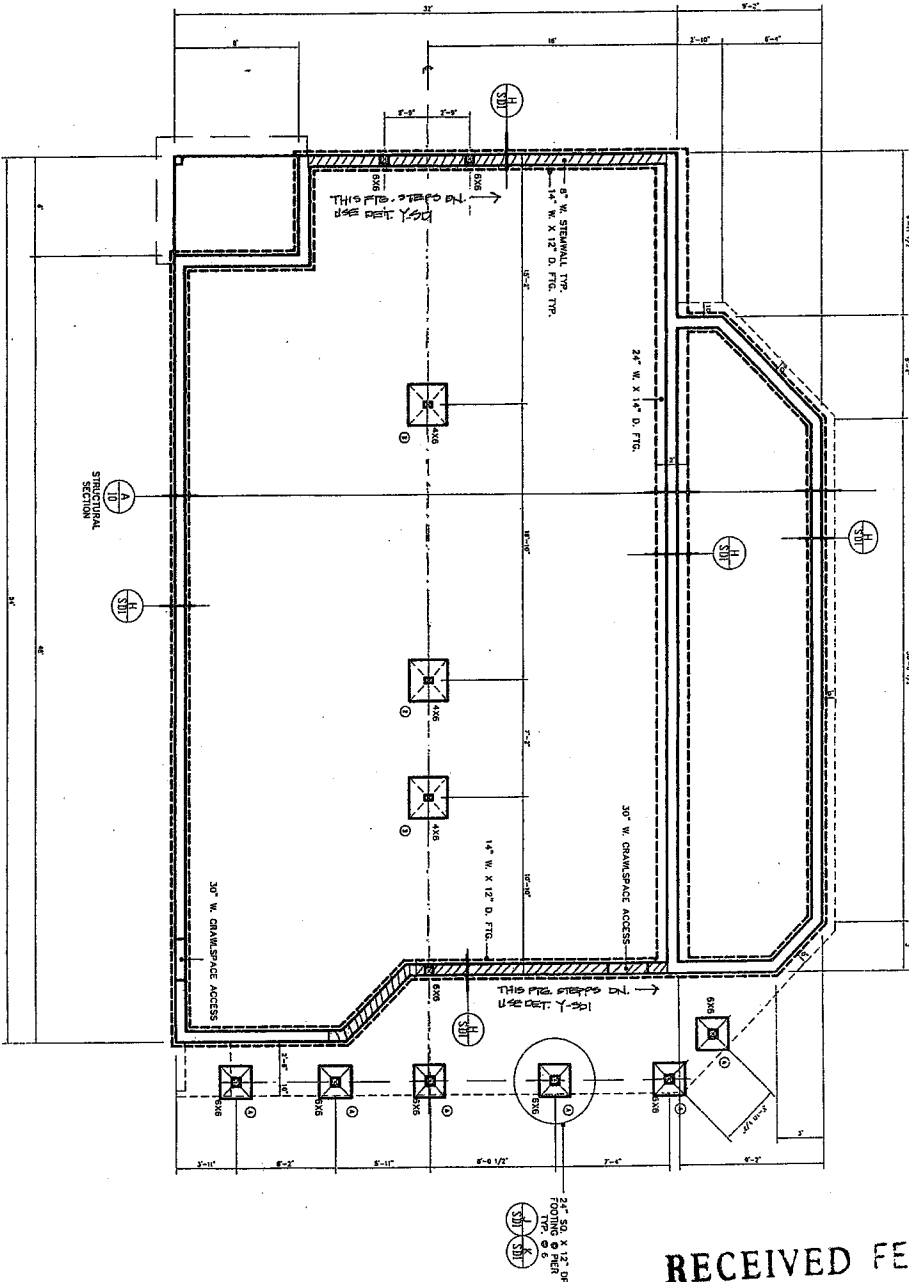
<p>OF 28 SHEETS SHEET 5</p>	<p>IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA</p>	<p>CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER : (916) 923-6447 SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO</p>	<p>MODIFICATIONS</p>
	<p>PROJECT IRVING / RITA STEVENSON RESIDENCE DATE SPRING 2013 DRAWN BY RB SCALE 1/4" = 1'-0" CHECKED BY AM/MD</p>		

ALL DRAWINGS AND SPECIFICATIONS SHALL BE SUBJECT TO THE STANDARD PRACTICES AND CONDITIONS OF CONTRACT FOR ARCHITECTURAL SERVICES AS SET FORTH IN THE STANDARD SPECIFICATIONS FOR ARCHITECTURAL SERVICES, LATEST EDITION, PUBLISHED BY THE CALIFORNIA ARCHITECTURAL BOARD.
 CALIFORNIA - WESTERN ARCHITECTURAL GROUP

FOUNDATION PLAN KEY

1	MIN. STEEWALL (CONC)
2	OUT
3	OUT
4	OUT
5	SPREAD FOOTINGS:
6	(A) 24" W. X 12" D. FTG.
7	(B) 30" W. X 12" D. FTG.
8	(C) 30" W. X 12" D. FTG.
9	(D) 30" W. X 12" D. FTG.
10	OUT
11	OUT

MIN. 4056 REL. COMPACTION UNDER ALL FOOTINGS TO ELIMINATE MOISTURE. BE MECHANICALLY VIBRATED TO ELIMINATE MOISTURE.
 2. 24" W. X 12" D. FTG. SHALL BE REINFORCED WITH 4 #4 BARS.
 3. 30" W. X 12" D. FTG. SHALL BE REINFORCED WITH 4 #4 BARS.
 4. 30" W. X 12" D. FTG. SHALL BE REINFORCED WITH 4 #4 BARS.
 5. CONCRETE SHALL BE 2500 PSI DESIGN MIX (CONC) - C/G (CONC).
 6. 24" W. X 12" D. FTG. SHALL BE REINFORCED WITH 4 #4 BARS.
 7. 30" W. X 12" D. FTG. SHALL BE REINFORCED WITH 4 #4 BARS.
 8. 30" W. X 12" D. FTG. SHALL BE REINFORCED WITH 4 #4 BARS.
 9. 30" W. X 12" D. FTG. SHALL BE REINFORCED WITH 4 #4 BARS.
 10. 30" W. X 12" D. FTG. SHALL BE REINFORCED WITH 4 #4 BARS.
 11. 30" W. X 12" D. FTG. SHALL BE REINFORCED WITH 4 #4 BARS.



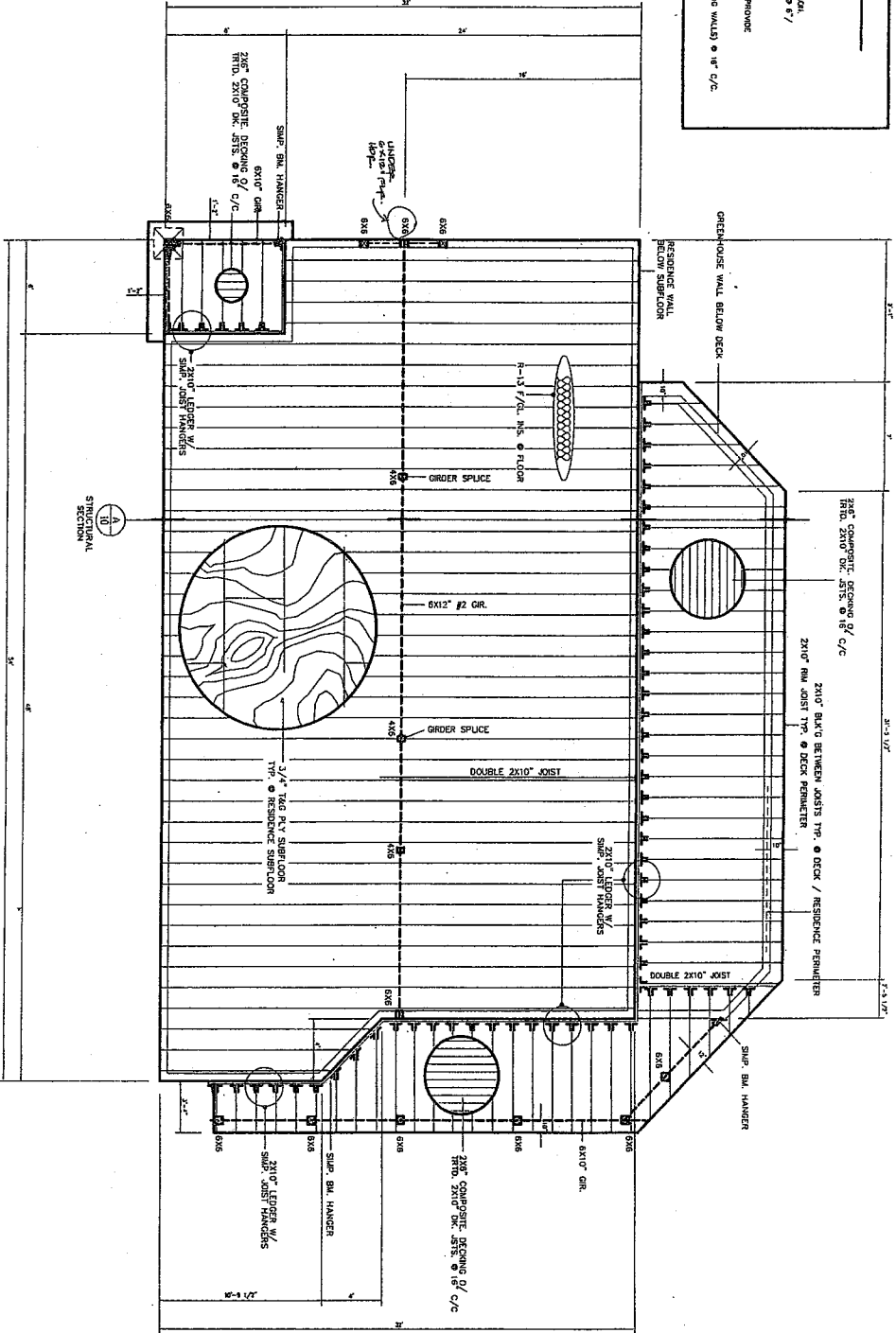
A
 FOUNDATION PLAN
 RESIDENCE / GREENHOUSE

1" = 2'-0" GRAPHIC SCALE / 1/4" = 1'-0"

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PROJECT IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA	CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE, SUITE 107 • SACRAMENTO, CA. 95825 CONTACT NUMBER: (916) 823-8447 SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO	MODIFIED/ISSUED

- FLOOR FRAMING KEY**
- ① ALL FLOOR JOISTS SHALL BE 2X10 @ 24" o.c. TYP.
 - ② QUIET
 - ③ USE 3/4" PLY SUBFLOOR (T&G) W/ CONSTRUCTION ADHESIVE BRND A JOIST TORS.
 - ④ FRAMING QUAD (HANGERS) & ALL CONNECTION HARDWARE SHALL BE (CALV.) SPEC'D.
 - ⑤ EXPOSED JOIST & FLOOR DECK SHALL BE 2X10 @ 24" o.c. TYP.
 - ⑥ 2X10 CR. SPACE FROM JOIST BOTT. = 18" F.S.P. SHT. @
 - ⑦ 2X10 CR. SPACE FROM JOIST TOP = 18" F.S.P. SHT. @
 - ⑧ JOIST SUPPORTING FLOOR DECKS & ROOF DECKS SHALL BE CONTINUOUS (I.R.C.) PROVIDE
 - ⑨ ALL INTERIOR FRAMING (COR-SHEATH) SHALL BE 2X4 @ 24" o.c. STUDS & PLUMBING WALLS @ 16" o.c.



ALL FRAMING AND JOISTS SHALL BE COMING FROM THE SAME SOURCE. THE CONTRACTOR SHALL VERIFY THE JOIST TORSION RATIO BEFORE INSTALLATION. IN VIOLATION OF THE CALIFORNIA WESTERN ARCHITECTURAL GROUP.

A FLOOR & DECK FRAMING PLAN
RESIDENCE

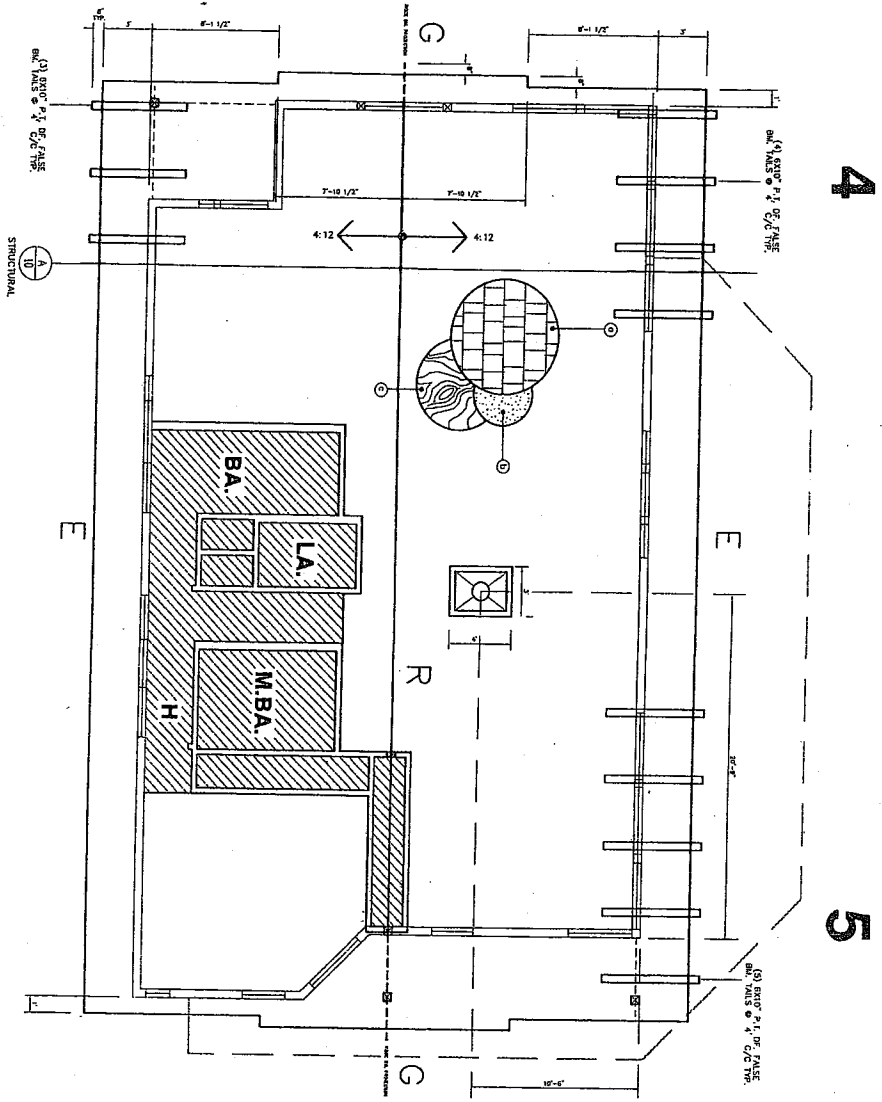
1" = 2'-0"
3" = 3'-0"
5" = 5'-0"
10" = 10'-0"
DRAWING / GRAPHIC SCALE: 1/4" = 1'-0"

OF 28 SHEETS 7	SHEET 7	IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA	CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER: (916) 923-6447 SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO	MODIFICATIONS
		PROJECT: IRVING / RITA STEVENSON RESIDENCE DATE: SPRING 2013 DRAWN BY: RB SCALE: 1/4" = 1'-0" CHECKED / APPROVED:		

- PLAN KEY**
- 1) ALL RAFTERS SHALL BE 2"X10" @ 24" C/C.
 - 2) ROOF SHEATHING SHALL BE 1/2" CDX.
 - 3) ROOF FISHING SHALL BE 4" X 12" (UN) 100' ISOSYMBREE BLOCK SHALL BE SCREWED VENT. SEE ELEVATIONS FOR OVER HUNG VENTS.
 - 4) ROOF COVERINGS SHALL BE:
 - (a) 40 YR. CLASS "C" COMPOSITION SHINGLES (CHARCOAL BLACK) OVER
 - (b) 1/2" CDX PLY (CDX @ 0.18'S IF NO SORTS USED), OVER RAFTERS.
 - (c) 1/2" CDX PLY (CDX @ 0.18'S IF NO SORTS USED), OVER RAFTERS.
 - 5) PROVIDE DRAIN FLASHING @ ALL REV LOCATIONS.
 - 6) ROOF OVERHANGS ARE SHOWN ON ROOF PLAN.
 - 7) MAIN PLYWOOD ROOF DECKING PERPENDICULAR TO ROOF FRAMING.
 - 8) NO PLYWOOD PIECE SHALL BE LESS THAN 12" IN ITS LEAST DIMENSION.



ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. HATCHING AND SHADING TO BE IDENTICAL TO ORIGINAL DRAWING. THIS DRAWING IS THE PROPERTY OF CALIFORNIA WESTERN ARCHITECTURAL GROUP.



ROOF PLAN @ RESIDENCE

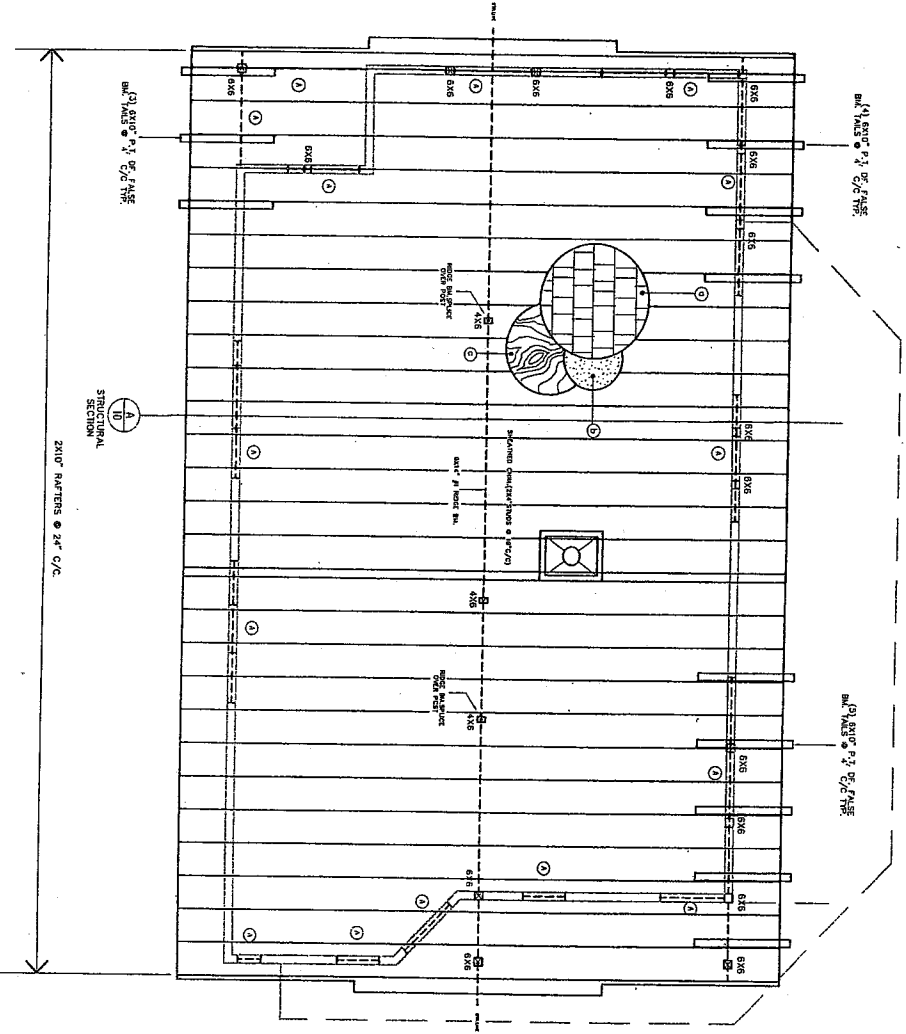
1" = 2'-0" GRAPHIC SCALE 1/4" = 1'-0"

RECEIVED FEB 15 2015

<p>8</p> <p>SHEET</p> <p>OF 28 SHEETS</p> <p>DATE: 02/10/15</p>	<p>IRVING / RITA STEVENSON RESIDENCE</p> <p>46800 FISH ROCK RD.</p> <p>ANCHOR BAY, CALIFORNIA</p>	<p>CALIFORNIA-WESTERN ARCHITECTURAL GROUP</p> <p>ARCHITECTS • ENGINEERS • PLANNERS</p> <p>1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825</p> <p>CONTACT NUMBER : (916) 923-8447</p> <p>SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO</p>
<p>PROJECT: IRVING / RITA STEVENSON RESIDENCE</p> <p>DATE: SPRING 2013</p> <p>DRAWN BY: RB</p> <p>SCALE: 1/4" = 1'-0"</p> <p>CHECKED / APPROVED:</p>		<p>MODIFICATIONS:</p>

- F FRAMING KEY**
- ① ALL RAFTERS SHALL BE 2 X 10" @ 24" C/C. VERIFY SIZES / FREQUENCY @ PLAN.
 - ② PLY & BARGE RAFTERS SHALL BE 2 X 10".
 - ③ ROOF PITCHES SHALL BE 4:12 (MIN).
 - ④ ROOF JOISTS SHALL BE 2 X 10" @ 24" C/C. VERIFY SIZES / FREQUENCY @ PLAN.
 - ⑤ ROOF JOIST SPACING SHALL BE 24" ON CENTER.
 - ⑥ ROOF OVERHANGS SHALL BE 18" MIN. OVER
 - ⑦ 1/2" CDX PLY (CDX @ 0.18" IF NO SOFFIT IS USED). OVER RAFTERS.
 - ⑧ PROVIDE 22 X 30 " ATTIC ACCESS. (SEE FLOOR PLAN FOR EXACT LOCATION).
 - ⑨ ROOF OVERHANGS ARE SHOWN ON ROOF PLAN.
 - ⑩ CEILING JOISTS (WHERE APPLICABLE) SHALL BE 2 X 4" @ 16" C/C (MIN) IF 2" ABOVE FINISHED FLOOR. VERIFY SIZES / FREQUENCY @ PLAN.
 - ⑪ PROVIDE ENE TRIMMING TO ALL SIDING OR SHEET PILING. VERIFY SIZES / FREQUENCY @ PLAN.
 - ⑫ PROVIDE ENE TRIMMING TO ALL SIDING OR SHEET PILING. VERIFY SIZES / FREQUENCY @ PLAN.
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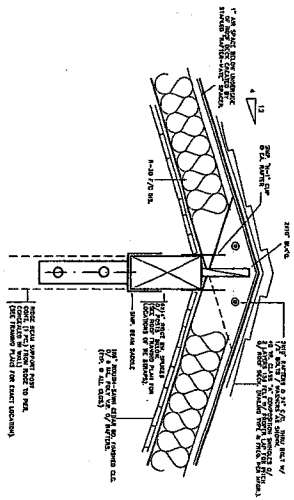
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ROOF FRAMING PLAN
RESIDENCE

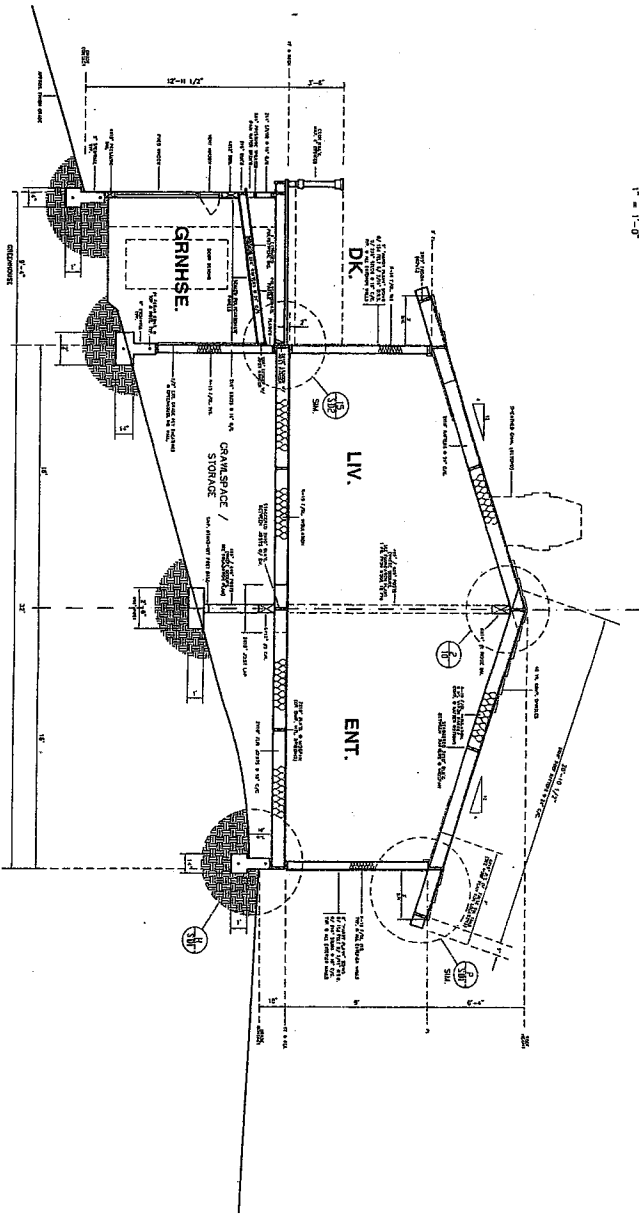
1" = 2'-0"
5" = 10'-0"
DRAWING / GRAPHIC SCALE : 1/4" = 1'-0"

<p>9 SHEET OF 28 SHEETS CIVIL ENGINEERING</p>	<p>IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA</p>	<p>CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE, SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER : (916) 823-6447 SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO</p>
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2 ROOF RIDGE BM. / RAFTERS / POST CONN.
1" = 1'-0"

- SECTION KEY
- 1 SHEATHED CHAL. (GV) STUDS @ 18" C/C
 - 2 1/2" R.I. CLASS A COMPOSITION SHINGLES OR 2 LAYERS OF 1/2" CIX N.Y. GOC @ 6"X 5" IF NO SORTS USED
 - 3 ROOF PITCH: 8:12 / C/G: 3:12
 - 4 ROOFING FLASHING KIT (LOCATIONS)
 - 5 2x10 F/O.C. MS @ 9'x5'
 - 6 1/2" R.I. CLASS A COMPOSITION SHINGLES OR 2 LAYERS OF 1/2" CIX N.Y. GOC @ 6"X 5" IF NO SORTS USED
 - 7 1/2" ONE TYP. @ WALLS/CORNERS
 - 8 1/4" R.I. V. SUBFLOOR TRUSS (OPEN WEB) @ 24" C/C
 - 9 2x10 F/O.C. MS @ 9'x5'
 - 10 1/2" R.I. CLASS A COMPOSITION SHINGLES OR 2 LAYERS OF 1/2" CIX N.Y. GOC @ 6"X 5" IF NO SORTS USED
 - 11 1/2" ONE TYP. @ WALLS/CORNERS
 - 12 1/4" R.I. V. SUBFLOOR TRUSS (OPEN WEB) @ 24" C/C
 - 13 2x10 F/O.C. MS @ 9'x5'
 - 14 1/2" R.I. CLASS A COMPOSITION SHINGLES OR 2 LAYERS OF 1/2" CIX N.Y. GOC @ 6"X 5" IF NO SORTS USED
 - 15 1/2" ONE TYP. @ WALLS/CORNERS
 - 16 APPROX. FIN. GRADE



A STRUCTURAL SECTION @ RESIDENCE
1" = 1'-0"

DRAWING / GRAPHIC SCALE: 1/4" = 1'-0"

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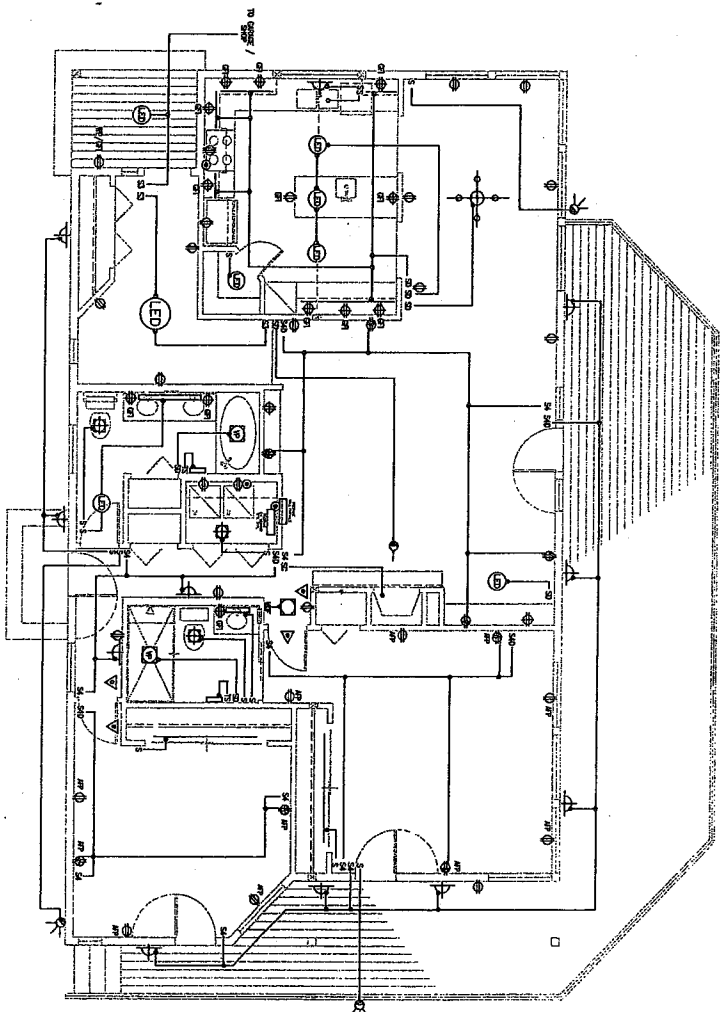
<p>IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA</p>		<p>CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER : (916) 923-8247</p>		<p>MODIFICATIONS</p>
<p>PROJECT DATE: SPRING 2013 DRAWN BY: RB</p>		<p>SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO</p>		
<p>SCALE: 1/4" = 1'-0" CHECKED / APPROVED</p>				
<p>SHEET 10</p>				
<p>OF 28 SHEETS DATE: NOVEMBER 2013</p>				

- ELECTRICAL PLAN KEY**
1. ALL ELECTRICAL WORK IS SHOWN TO CORRECT ELECTRICAL REQUIREMENTS OF THE INTERNATIONAL WIRELESS & ELECTRICAL CODES IS ALSO SHOWN ON SHEET 1-2.
 2. ALL ELECTRICAL WORK IS TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CALIFORNIA ELECTRICAL CODE (CEC).
 3. ALL ELECTRICAL WORK IS TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CALIFORNIA ELECTRICAL CODE (CEC).
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 10. ALL ELECTRICAL WORK IS TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CALIFORNIA ELECTRICAL CODE (CEC).

ELECTRICAL SYMBOL LEGEND

1	POWER SYMBOL
2	RECEPTACLE
3	SWITCH
4	OUTLET
5	CONDUIT
6	TRAY
7	TRAY
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100	TRAY

ALL DRAWINGS AND INFORMATION CONTAINED HEREIN ARE SUBJECT TO THE GENERAL CONDITIONS OF CONTRACT FOR ARCHITECTURAL SERVICES AND THE STANDARD CONDITIONS OF CONTRACT FOR ARCHITECTURAL SERVICES OF THE CALIFORNIA WESTERN ARCHITECTURAL GROUP.

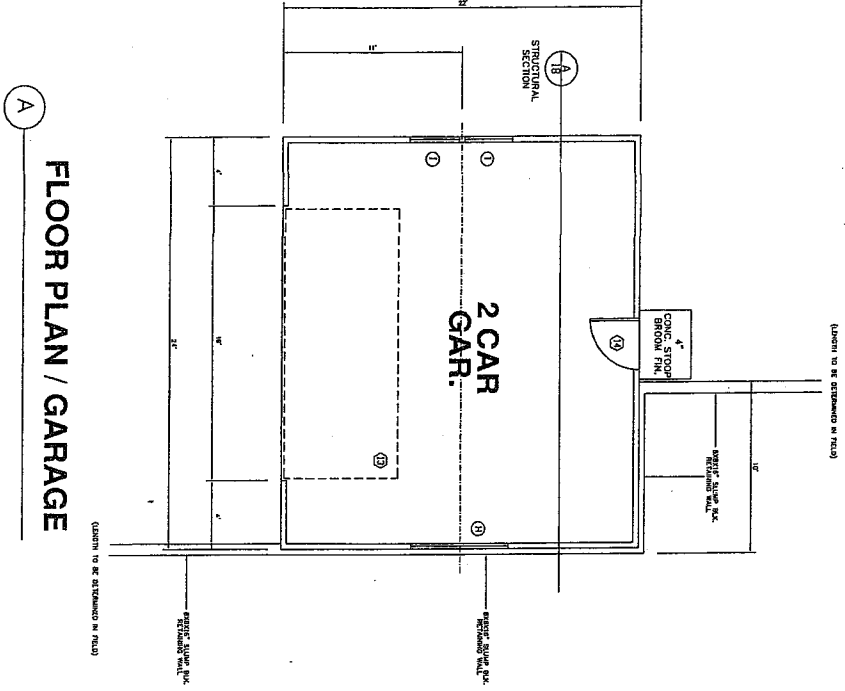


A
ELECTRICAL PLAN
RESIDENCE

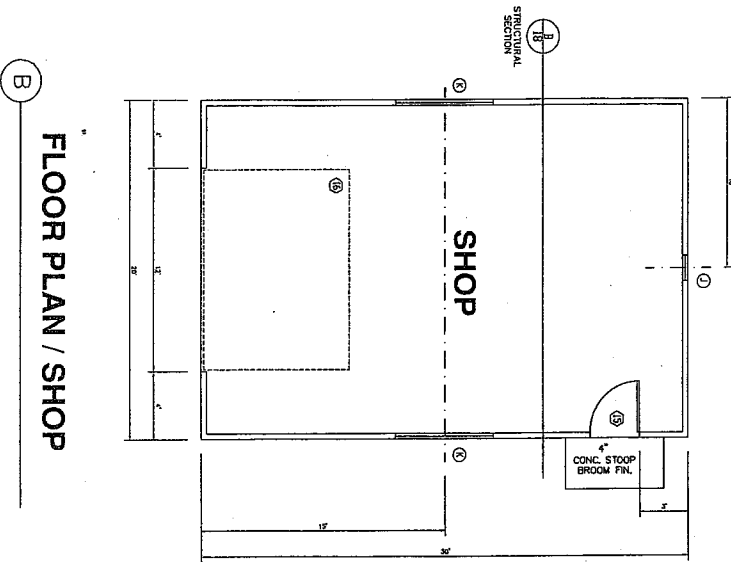
1" = 2'-0"
DRAWING / GRAPHIC SCALE : 1/4" = 1'-0"

SHEET 11 OF 28 SHEETS <small>THIS DRAWING IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.</small>	IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA	CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER : (916) 923-6447	MODIFICATIONS
		PROJECT DATE: SPRING 2013 DRAWN: RB SCALE: 1/4" = 1'-0" CHECKED: ZAMMOTO	SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO

ALL DRAWINGS ARE UNLESS OTHERWISE SPECIFIED TO BE IN ACCORDANCE WITH THE CALIFORNIA ARCHITECTURAL BOARD'S STANDARD SPECIFICATIONS FOR ARCHITECTURAL DRAWINGS AND TO BE IN ACCORDANCE WITH THE CALIFORNIA ARCHITECTURAL BOARD'S STANDARD SPECIFICATIONS FOR ARCHITECTURAL DRAWINGS AND TO BE IN ACCORDANCE WITH THE CALIFORNIA ARCHITECTURAL BOARD'S STANDARD SPECIFICATIONS FOR ARCHITECTURAL DRAWINGS.



FLOOR PLAN / GARAGE



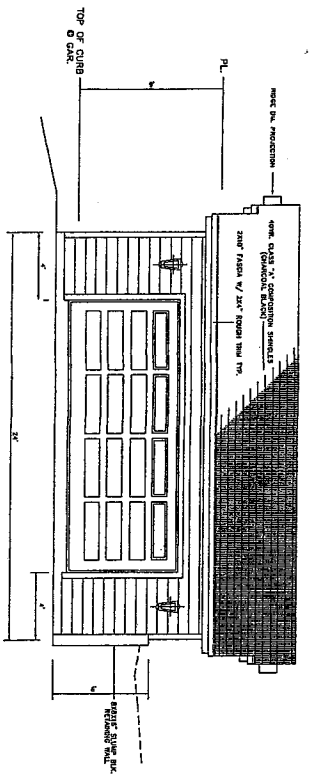
FLOOR PLAN / SHOP

FLOOR PLANS / GARAGE / SHOP

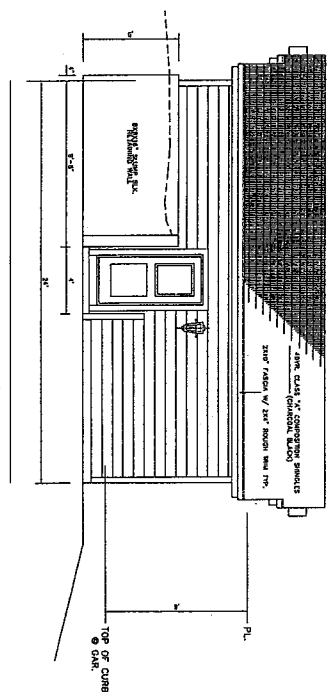
1" = 2'-0" GRAPHIC SCALE : 1/4" = 1'-0"

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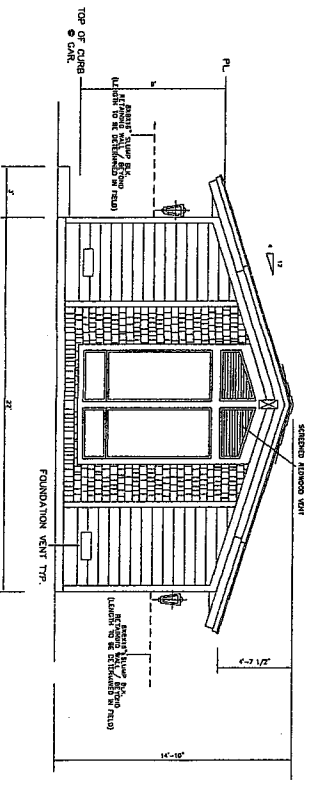
<p>OF 28 SHEETS</p> <p>12</p> <p>SHEET</p> <p>DATE: SPRING 2013</p> <p>DRAWN BY: RB</p> <p>SCALE: 1/4" = 1'-0"</p> <p>ENGINEER: J. AMOSOVA</p>	<p>IRVING / RITA STEVENSON RESIDENCE</p> <p>46800 FISH ROCK RD.</p> <p>ANCHOR BAY, CALIFORNIA</p>	<p>CALIFORNIA-WESTERN ARCHITECTURAL GROUP</p> <p>ARCHITECTS • ENGINEERS • PLANNERS</p> <p>1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95625</p> <p>CONTACT NUMBER : (916) 923-8447</p> <p>SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO</p>	<p>MODIFICATIONS</p>	
	PROJECT			
	DATE			
	DRAWN BY			



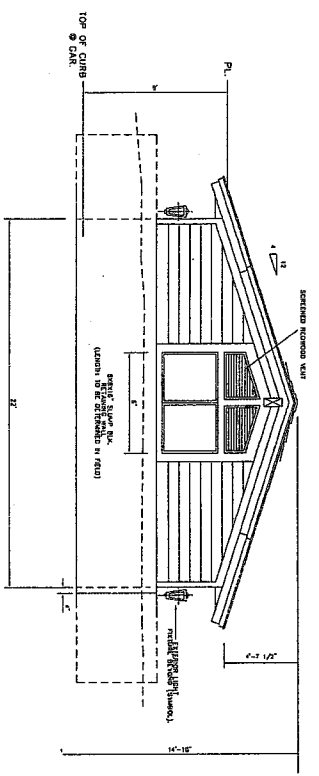
A
EXTERIOR ELEVATION / GARAGE / FRONT



B
EXTERIOR ELEVATION / GARAGE / REAR

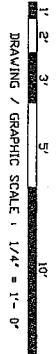


C
EXTERIOR ELEVATION / GARAGE / LEFT



D
EXTERIOR ELEVATION / GARAGE / RIGHT

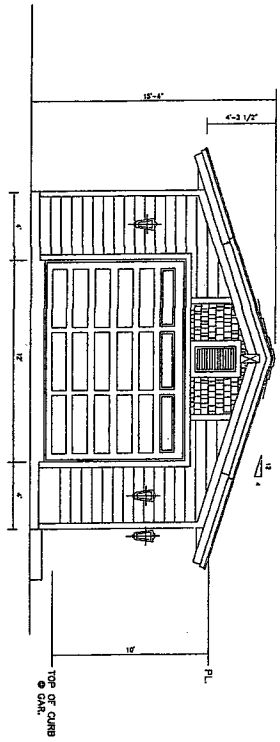
EXTERIOR ELEVATIONS / GARAGE



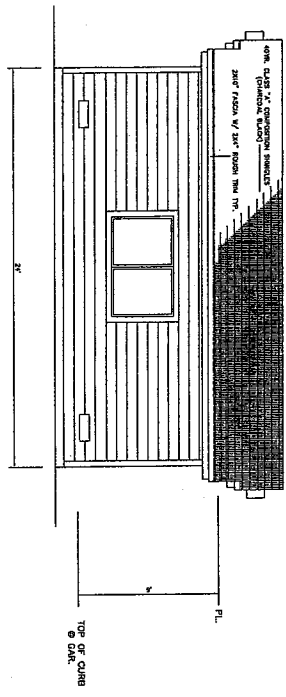
ALL DRAWINGS AND INFORMATION CONTAINED HEREIN ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE ARCHITECTURAL AGREEMENT BETWEEN CALIFORNIA WESTERN ARCHITECTURAL GROUP

<p>IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA</p>		<p>CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER : (916) 923-8447 SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO</p>	
<p>PROJECT DATE PROJECT DRAWN SCALE CHECKED / APPROVED</p>	<p>PROJECT DATE PROJECT DRAWN SCALE CHECKED / APPROVED</p>	<p>PROJECT DATE PROJECT DRAWN SCALE CHECKED / APPROVED</p>	<p>PROJECT DATE PROJECT DRAWN SCALE CHECKED / APPROVED</p>

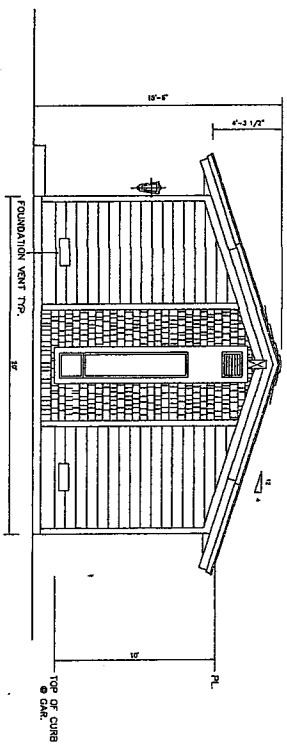
ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF CALIFORNIA WESTERN ARCHITECTURAL GROUP. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM CALIFORNIA WESTERN ARCHITECTURAL GROUP.



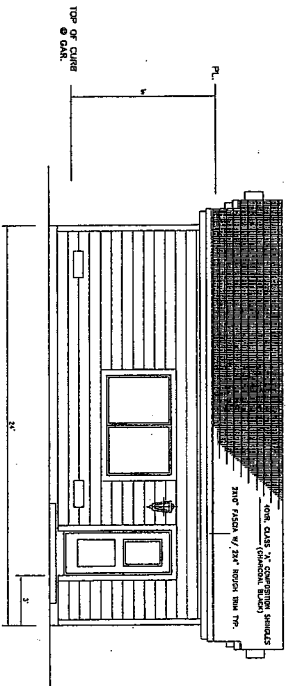
EXTERIOR ELEVATION / SHOP / FRONT



EXTERIOR ELEVATION / SHOP / LEFT



EXTERIOR ELEVATION / SHOP / REAR



EXTERIOR ELEVATION / SHOP / RIGHT

EXTERIOR ELEVATIONS / SHOP

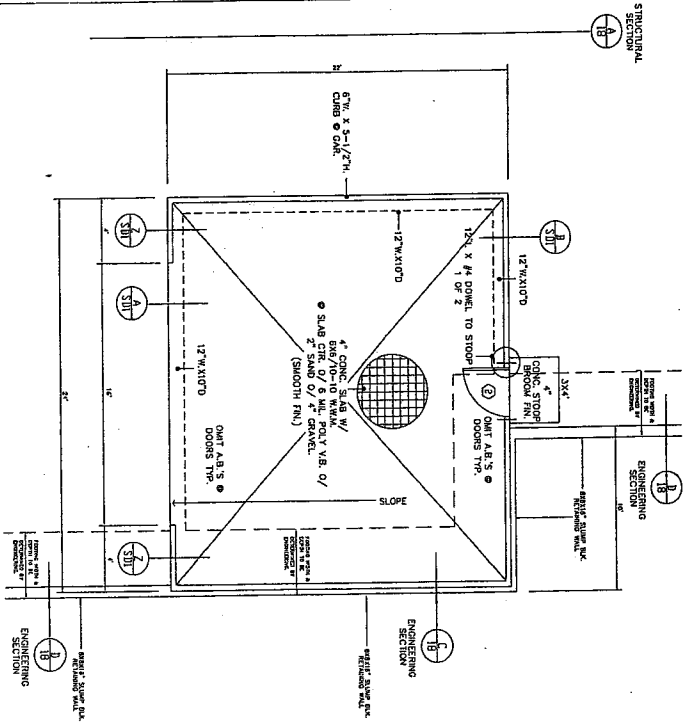


DRAWING / GRAPHIC SCALE : 1/4" = 1'-0"

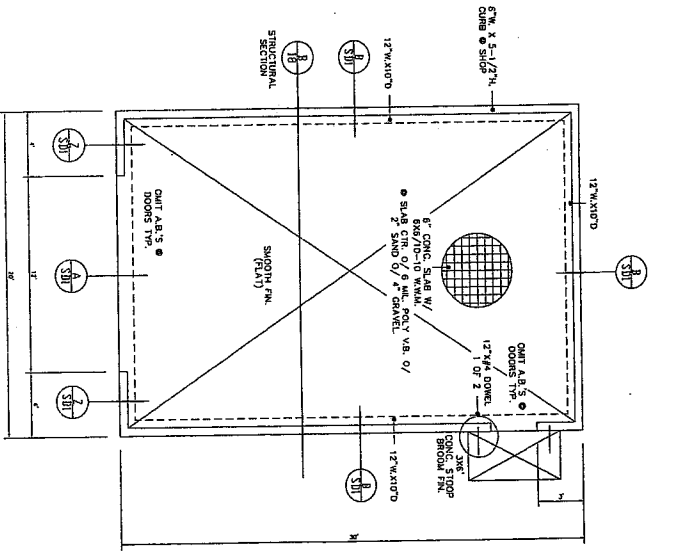
RECEIVED FEB 15 2015

SHEET 14 OF 28 SHEETS <small>DATE SUBMITTED 2013</small>	PROJECT IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA	CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER : (916) 923-6447 SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO	MODIFICATIONS
	DATE DATE DRAWN BY SCALE CHECKED / APPROVED	PROJECT DATE DATE DRAWN BY SCALE CHECKED / APPROVED	CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER : (916) 923-6447 SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO

- FOUNDATION PLAN KEY
1. 1/4" DIA. WAGON BARBER UNDER ALL SLABS (QUIN)
 2. UNDER SLABS (CONCRETE FINISHED THROUGHS)
 3. MIN. 85% REL. COMPACTION UNDER ALL FOOTINGS.
 4. ALL FOOTINGS SHALL BE MECHANICALLY VIBRATED
 5. SLOPE FINAL EARTH GRADING AWAY FROM SLAB.
 6. SLOPE OR CONC. STEPS MIN. 4" @ 24" (QUIN).
 7. CONSTRUCTION IS REFERRED TO SPECIFICATIONS FOR CONCRETE.
 8. CONCRETE SHALL BE BASED UPON LOCAL.
 9. THE BLDG. DEPT. & SITE INSPECTION FOR SPECIFICS.
 10. FOOTINGS SHALL EXTEND MIN. 12" INTO UNFINISHED GRADE.
 11. FOUNDATIONS SHALL BE CONSTRUCTED OVER FILL CONDITIONS.
 12. REMOVE ORGANIC "TUFF" FROM FOUNDATION SITE.
 13. CONCRETE SHALL BE 3000 DESIGN MIX (QUIN).
 14. ANCHOR BOLTS SHALL BE MIN. 1/4" DIA. @ 4'-0" C/C (QUIN).
 15. MIN. 2 EA. SILL PLATE MAY 12" FROM CORNERS, ENDS, & OPENINGS @ PERMITTERS.
 16. ALL FOUNDATIONS SHALL BE W/RAPIERED.
 17. 1/2" THICK LAYER OF FORMALIN SHALL BE APPLIED TO ALL FOUNDATIONS.
 18. REBAR SHALL BE BENT & TIED PER CODE SCHEDULE 40A, WHEN IN PLACE, LAPS & SPICES BEND ALL FORMS, STAYS 12" MINIMUM MINIMUM.



FOUNDATION PLAN / GARAGE



FOUNDATION PLAN / SHOP

FOUNDATION PLANS / GARAGE / SHOP

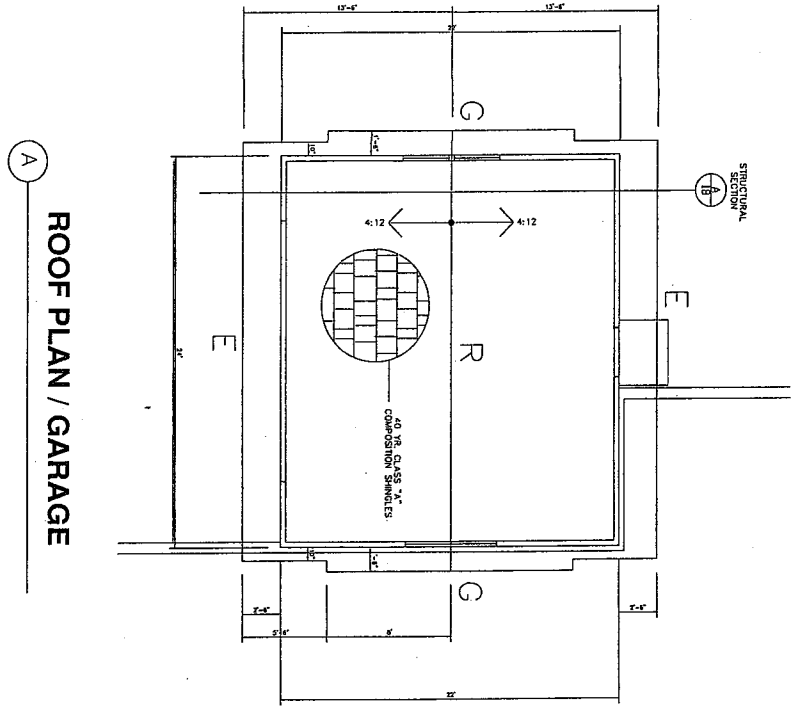
1" = 2'-0" 3' 5' 10'
DRAWING / GRAPHIC SCALE : 1/4" = 1'-0"

ALL DRAWINGS AND INFORMATION CONTAINED HEREIN ARE SUBJECT TO CONTRACT. PERMISSION IS GRANTED TO REPRODUCE THIS DRAWING FOR THE PROJECT ONLY. CALIFORNIA WESTERN ARCHITECTURAL GROUP

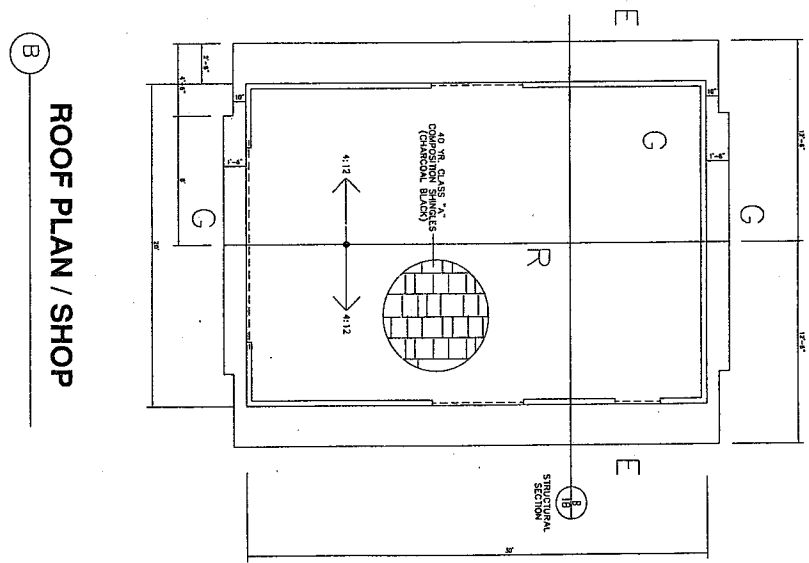
<p>IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA</p>		<p>CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER : (916) 923-8447 SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO</p>	
<p>PROJECT: IRVING / RITA STEVENSON RESIDENCE DATE: SPRING 2013 DRAWN BY: RB SCALE: 1/4" = 1'-0" CHECKED BY: [] DATE: []</p>		<p>MODIFICATIONS:</p>	
<p>SHEET 15 OF 28 SHEETS</p>		<p>BRNO SKRABALCIC 1523</p>	

- ROOF PLAN KEY
- PROVIDE GUT. FLASHING @ ALL KEY LOCATIONS. PLAN FOR EXACT LOCATION.
 - PROVIDE 1/4" DIA. GALV. FLASHING @ ALL KEY LOCATIONS. PLAN FOR EXACT LOCATION.
 - VENT ROOF WITH 1/150 OF VENTILATION SPACE (VENT FORTY FORTY PRITE BLOCK SHALL BE USED UNLESS OTHERWISE NOTED).
 - ROOF TO BE MEASURED HORIZONTALLY. VENTILES 2" ABOVE THE HIGHEST POINT OF THE ROOF.
- R RIDGE
E EAVE
G GABLE

ALL DRAWINGS AND INFORMATION CONTAINED HEREIN ARE HEREBY TO BE CONSIDERED VOID UNLESS THEY ARE APPROVED AND SIGNED BY CALIFORNIA WESTERN ARCHITECTURAL GROUP



ROOF PLAN / GARAGE



ROOF PLAN / SHOP

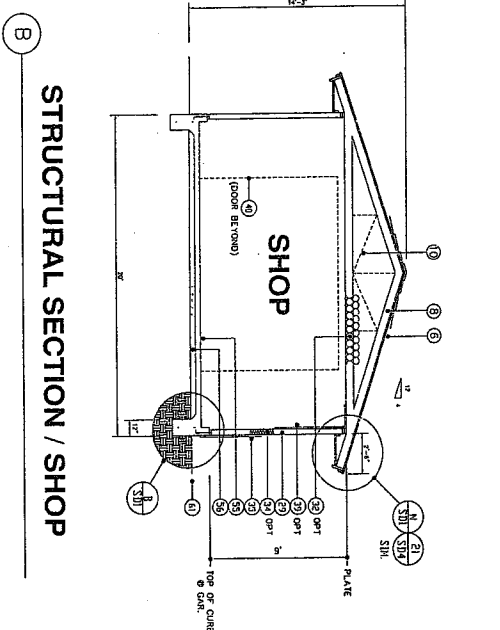
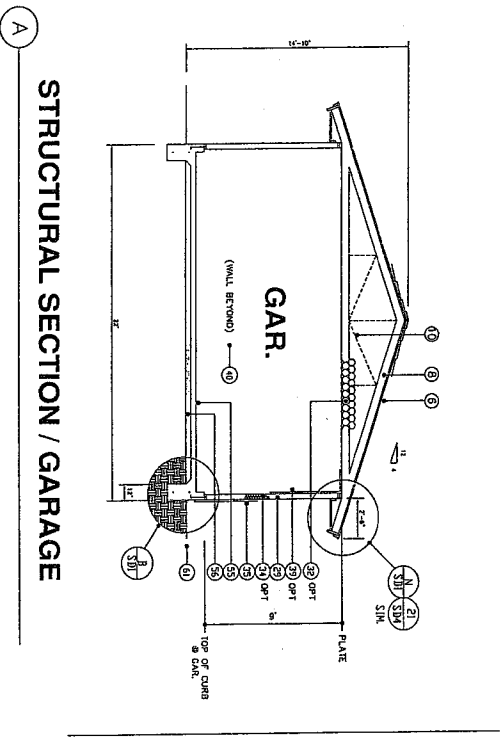
ROOF PLANS / GARAGE / SHOP



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SHEET 16 OF 28 SHEETS <small>Printed 12/20/13</small>	PROJECT IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA	CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER : (916) 823-8447 SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO	MODIFICATIONS:
		DATE: SPRING 2013 DRAWN: RB SCALE: 1/4" = 1'-0" CHECKED: AMBRYEN	

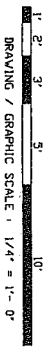
- SECTION KEY
- ① 40 MIL CLASS "A" COMPOSITION SHINGLES / 2 LAYERS OF 1/2" SOL NAIL FLOOR & LATH (FOR ROOF) OR 1/2" SOL NAIL FLOOR & LATH (FOR GARAGE)
 - ② FIRE-RESISTANT TRUSSES @ 24" C/C
 - ③ PROVIDE FLASHING KEY LOCATIONS
 - ④ 2x4" STUDS @ 16" C/C
 - ⑤ 1/2" GYPSUM BOARD / 3 LAYERS OF BRICK / 1/2" SAND ON 4" CONCRETE
 - ⑥ 1/2" GYPSUM BOARD / 3 LAYERS OF BRICK / 1/2" SAND ON 4" CONCRETE
 - ⑦ 1/2" GYPSUM BOARD / 3 LAYERS OF BRICK / 1/2" SAND ON 4" CONCRETE
 - ⑧ APPROX. FIN. GRADE



STRUCTURAL SECTION / SHOP
RETAINING WALL @ GARAGE

STRUCTURAL SECTIONS / GARAGE / SHOP

STRUCTURAL SECTION / SHOP
RETAINING WALL OUTSIDE GARAGE



ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO THE GENERAL PROVISIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF BUILDINGS, 1995 EDITION, CALIFORNIA VERTICAL ARCHITECTURAL GROUP

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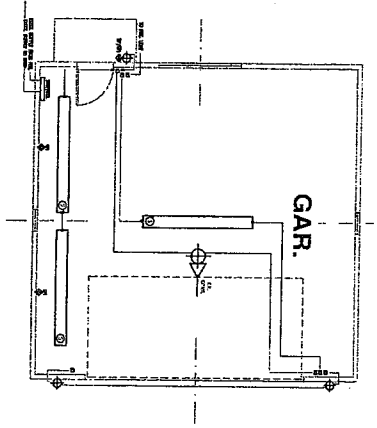
<p>SHEET 18</p>	<p>OF 26 SHEETS</p>	<p>IRVING / RITA STEVENSON RESIDENCE 46800 FISH ROCK RD. ANCHOR BAY, CALIFORNIA</p>		<p>CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1540 RIVER PARK DRIVE, SUITE 107 • SACRAMENTO, CA. 95825 CONTACT NUMBER : (916) 923-6447</p>		<p>MODIFICATIONS</p>
		<p>PROJECT 08/15/14 SPRING 2013</p>		<p>SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO</p>		

ELECTRICAL PLAN REF.

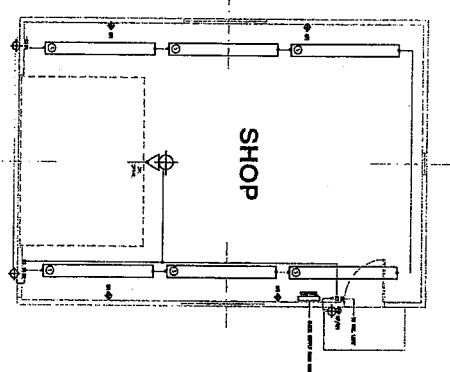
1. All electrical work is shown in general outline dimensions of 1/8".
 2. All electrical work is shown in general outline dimensions of 1/8".
 3. All electrical work is shown in general outline dimensions of 1/8".
 4. All electrical work is shown in general outline dimensions of 1/8".
 5. All electrical work is shown in general outline dimensions of 1/8".
 6. All electrical work is shown in general outline dimensions of 1/8".
 7. All electrical work is shown in general outline dimensions of 1/8".
 8. All electrical work is shown in general outline dimensions of 1/8".
 9. All electrical work is shown in general outline dimensions of 1/8".
 10. All electrical work is shown in general outline dimensions of 1/8".

ELECTRICAL SYMBOLS (LEGEND)	
①	120V. 15A. BRACKET OUTLET
②	120V. 20A. BRACKET OUTLET
③	120V. 15A. SWITCHED BRACKET OUTLET
④	120V. 20A. SWITCHED BRACKET OUTLET
⑤	120V. 15A. BRACKET OUTLET
⑥	120V. 20A. BRACKET OUTLET
⑦	120V. 15A. SWITCHED BRACKET OUTLET
⑧	120V. 20A. SWITCHED BRACKET OUTLET
⑨	120V. 15A. BRACKET OUTLET
⑩	120V. 20A. BRACKET OUTLET
⑪	120V. 15A. SWITCHED BRACKET OUTLET
⑫	120V. 20A. SWITCHED BRACKET OUTLET
⑬	120V. 15A. BRACKET OUTLET
⑭	120V. 20A. BRACKET OUTLET
⑮	120V. 15A. SWITCHED BRACKET OUTLET
⑯	120V. 20A. SWITCHED BRACKET OUTLET
⑰	120V. 15A. BRACKET OUTLET
⑱	120V. 20A. BRACKET OUTLET
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㊾	120V. 15A. BRACKET OUTLET
㊿	120V. 20A. BRACKET OUTLET

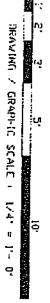
A ELECTRICAL PLAN / GARAGE



B ELECTRICAL PLAN / SHOP



ELECTRICAL PLANS / GARAGE / SHOP



"We, the undersigned, certify that I, the undersigned, is/are duly qualified to practice as a(n) ARCHITECT, ENGINEER, ARCHITECTURAL ENGINEER, SURVEYOR, or LANDSCAPE ARCHITECT, as indicated on this license, under the laws of the State of California."

07-28 SHEETS 19 SHEET	PROJECT: IRVING / RITA STEVENSON RESIDENCE	CALIFORNIA-WESTERN ARCHITECTURAL GROUP ARCHITECTS • ENGINEERS • PLANNERS 1549 RIVER PARK DRIVE SUITE 107 • SACRAMENTO CA. 95825 CONTACT NUMBER : (916) 933-6447 SANTA BARBARA • SACRAMENTO • REDDING • MENDOCINO
	CLIENT: IRVING / RITA STEVENSON	
	DATE: SEPTEMBER 2013	
	SCALE: 1/4" = 1'-0"	
	DRAWN BY: THERESA STAVROPOULOU	



DEPARTMENT OF FORESTRY AND FIRE PROTECTION

135 Ridgway Ave.
Santa Rosa, CA 95401
Website: www.fire.ca.gov
(707) 576-2959



Date: November 23, 2010

Ref.: 1-10EX-236-MEN

JOHN WILLIAMS
2300 NORTHPOINT PARKWAY
SANTA ROSA, CA 95407

DEAR MR. WILLIAMS:

This is to acknowledge that your **Less Than 3 Acre Conversion Exemption** was accepted on **November 18, 2010**. It has been assigned the above listed Exemption number. All timber operations must be complete within one year. All conversion activities must be complete within two years, unless under permit by local jurisdiction.

Please familiarize yourself with the enclosed **Notice of Slash Clean-up Requirements** noting that there are rule changes as of **January 1, 1998**. These requirements must be strictly adhered to once operations commence. In addition, please note the requirement for submittal of the Timber Operations Work Completion and/or Stocking Report (blue form) upon completion of the project.

Compliance with all provisions of the Forest Practice Act, rules pursuant to Section 1104.1(a)--Title 14 of the California Code of Regulations, will be determined by future inspection(s).

*****Please note enclosed notice regarding COHO Listing*****
*****Please note enclosed notice regarding Winter Operations*****

If you have any questions you may contact your local CDF Forest Practice Inspector or me at (707) 576-2959.

Sincerely,

Donald Morse
Staff Forester, Forest Practice
RPF #2158

Enclosure(s)

cc: CDF Unit
Fish & Game
Water Quality
County Planning
Board of Equalization
NMFS
TLO-Irving Stevenson
LTO-Donald Sorensen
File

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CONSERVATION IS WISE-KEEP CALIFORNIA GREEN AND GOLDEN

PLEASE REMEMBER TO CONSERVE ENERGY. FOR TIPS AND INFORMATION, VISIT "FLEX YOUR POWER" AT WWW.CA.GOV

LESS THAN 3 ACRE CONVERSION EXEMPTION

STATE OF CALIFORNIA
DEPARTMENT OF FORESTRY AND FIRE PROTECTION
NOTICE OF TIMBER OPERATIONS THAT ARE EXEMPT FROM
CONVERSION AND TIMBER HARVESTING PLAN REQUIREMENTS
RM-73 (1104.1a) (12/08)

FOR ADMIN. USE ONLY ✓

Ex. # 1-10EX-236 MEN

NOV 18 2

Date of Receipt OCT 22 2010

Date Accepted 11-18-2010

Date Expires 11-17-2011

RECEIVED

OCT 22 2010

VALID FOR ONE YEAR FROM DATE OF RECEIPT BY CAL FIRE
TIMBER OPERATIONS CANNOT START UNTIL VALID COPY
OF A NOTICE OF ACCEPTANCE IS RECEIVED FROM CAL FIRE

COAST AREA OFFICE
RESOURCE MANAGEMENT

The Director of the Department of Forestry and Fire Protection (CAL FIRE) is hereby certifying that the timber operations under the requirements of 14 CCR § 1104.1(a): Harvesting of trees that is a single conversion to a non-timber growing use of timberland of less than three acres. (See 14 CCR § 1104.1(a) for a description of the conditions on the conduct of this type of timber operation and additional information that is **required** to be submitted.) Complete Items 1 through 8 on both pages of this notice.

1. TIMBER OWNER(S) OF RECORD: Name Irving Stevenson

Address 5424 Bentley ay

City Carmichael State CA Zip 95608 Phone (916)-769-1321

SIGNATURE Irving Stevenson Date 10-16-2010

TIMBER TAX EXEMPTION: Timber owners owe timber yield tax when they harvest trees unless the harvest is exempt (Revenue and Taxation Code sec. 38116). Some small or low value harvests may be exempt from timber yield tax: Timber removed from an operation whose value does not exceed \$3,000 within a quarter, according to BOE Harvest Value Schedules, Rule 1024. If you believe your harvest may qualify for this exemption, please complete items A and B below. For timber yield tax information or for further assistance with these questions call the State Board of Equalization, 1-800-400-7115, or write: Timber Tax Section, MIC: 60, State Board of Equalization, P.O. Box 942879, Sacramento, California 94279-0060; or contact the BOE Web Page on the Internet at <http://www.boe.ca.gov>.

A. Circle the option that most closely estimates the total volume for this harvest, in thousands of board feet (mbf - Net Scribner short log):

Under 8 mbf 8-15 mbf 16-25 mbf Over 25 mbf

B. Estimate what percentage of timber will be removed during this harvest:

Redwood _____%; Ponderosa/Sugar pine _____%; Douglas-fir _____%; Fir _____%;
Port-Orford Cedar _____%; Cedar (IC, WRC) _____%; Other conifer 100%; Other hardwood _____%.

RECEIVED

NOV 18 2010

COAST AREA OFFICE
RESOURCE MANAGEMENT

2. TIMBERLAND OWNER(S) OF RECORD: Name Irving Stevenson

Address 5424 Bentley Way

City Carmichael State CA Zip 95608 Phone (916)-769-1321

I certify, under penalty of perjury, that this is a one-time conversion to a non-timberland use, that there is a "bona fide intent" [14 CCR § 1100(b)] to convert to a residential home site, and that I have mailed a letter of notice of intent to harvest timber, prepared by the registered professional forester, to all adjacent landowners within 300 feet of the boundaries of the exemption.

SIGNATURE Irving Stevenson Date 10-16-2010

3. LICENSED TIMBER OPERATOR(S): Name Donald Sorenson Lic. No. B8832 ✓

Address P.O. Box 612

City Point Arena State CA Zip 95468 Phone (707)882-2504

SIGNATURE Donald Sorenson Date 10-16-10

4. Designate the legal land description of the location of timberland conversion. A map showing the location of the timberland conversion MUST be attached. The map must show the ownership boundaries, the location of the timber operation, boundaries of the conversion, location and classification of all watercourses, and landing locations.

Section	Township	Range	Base & Meridian	County	Acreage to be Converted	Assessors Parcel Number
18	11N	15W	MDB&M	Mendocino	0.9	142-012-10

5. The following are limitations or requirements for timber operations conducted under a Less Than Three Acre Conversion Exemption (Notice, Notice of Conversion Exemption, Conversion Exemption):

- A. Timber operations shall comply with all other applicable provisions of the Forest Practice Act and regulations, county general plans, zoning ordinances, and any implementing ordinances; copies of the state rules and regulations may be found on CAL FIRE's Web Page on the internet at <http://www.fire.ca.gov>.
- B. All timber operations shall be complete within one year from the date of acceptance by CAL FIRE.
- C. All conversion activities shall be complete within two years from the date of acceptance by CAL FIRE unless under permit by local jurisdiction. Failure to complete the conversion requires compliance with stocking standards and stocking report requirements of the Forest Practice Act and Board of Forestry and Fire Protection regulations.
- D. The timber operator shall remove or dispose of all slash or woody debris in accordance with 14 CCR § 1104.1(a)(2)(D). The timberland owner may assume responsibility for the slash treatment, provided the landowner acknowledges in writing to CAL FIRE such responsibility at the time of submission of this notice. The specific requirements shall be included with the acknowledgement.
- E. Timber operations may be conducted during the winter period. Tractor operations in the winter period are allowed under any of the conditions described in 14 CCR § 1104.1(a)(2)(E)1-3.
- F. No timber operations are allowed within a watercourse and lake protection zone unless specifically approved by local permit (e.g., county, city).
- G. No timber operations shall be conducted until CAL FIRE's notice of acceptance is received and a valid copy of this notice and CAL FIRE's acceptance shall be kept on site during timber operations.
- H. No sites of rare, threatened or endangered plants or animals or species of special concern shall be disturbed, threatened, or damaged.
- I. No timber operations are allowed on significant historical or archeological sites.
- J. Within one month of the completion of timber operations, including slash disposal, the timberland owner shall submit a work completion report to CAL FIRE.

6. I, NOT APPLICABLE, declare as the authorized designee of the County Board of Supervisors that this conversion exemption is in conformance with all county regulatory requirements, including public notice. (If the county has authorized a designee this item MUST be completed. If it has not, see item 7.)

SIGNATURE _____ Date _____

7. Registered Professional Forester preparing Notice: Name John Williams Number 1677

Address 2300 Northpoint Parkway

City Santa Rosa State CA Zip 95407 Phone (707)-566-7510

I certify that I, or my supervised designee: prepared this Notice of Conversion Exemption Timber Operations; visited the site and flagged the boundaries of the conversion exemption, applicable WLPZs and equipment limitation zones; prepared a notice according to 14 CCR § 1104.1(a)(3) to be mailed by the landowner and that a copy of the notice was posted and dated on the ownership, visible to the public, at least 5 days prior to the postmark date of submission of the Notice of Conversion Exemption; and that if the County Board of Supervisors has not designated a representative authorized to sign in Item 6., that I, or my supervised designee, contacted the county and the Notice is in conformance with county regulations.

SIGNATURE of RPF John Williams Date 10/18/2010

8. NOTICE SUBMITTER(S): Name Irving Stevenson

Address 5424 Bentley Way

City Carmichael State CA Zip 95608 Phone (916)-769-1321

Submitter must be 1, 2, or 3 above, and must sign.

SIGNATURE Irving E. Stevenson Date 10-16-2010

FILE THIS NOTICE WITH THE CAL FIRE OFFICE BELOW FOR THE COUNTY IN WHICH THE OPERATION WILL OCCUR:

Alameda, Colusa, Contra Costa, Del Norte Humboldt, Lake, Marin, Mendocino, Napa, San Mateo, Santa Clara, Santa Cruz, Solano, Sonoma, western Trinity and Yolo Counties.

=> Forest Practice Program Manager
=> CAL FIRE
135 Ridgway Avenue
Santa Rosa, CA 95401

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Stevenson
46800 Fish Rock Road
Gualala, CA. 95445

Less than 3 Acre Conversion Exemption

Additional Information

The following information is provided to meet the requirements of 14 CCR 1104.1(a):

Item (2)(C), RPF required to flag the boundary of the conversion exemption timber operations.

The boundary of the conversion area have been flagged with pink flagging labeled "Harvest Boundary" approximately along the property line as indicated by the Timberland Owner. In 2010 the property corners were set by Richard Seal, a California Licensed Surveyor. It is the responsibility of the Timberland Owner to work with Mr. Seal, or another licensed surveyor, to ensure that conversion operations do not cross the surveyed property line.

A class III watercourse crosses the northwest corner of the property for a distance of approximately 70 feet. Ground slope perpendicular to the watercourse channel is less than 30% and 25-foot Equipment Limitation Zone (ELZ) has been flagged along both sides of the watercourse. Except as stated below, heavy equipment shall not operate within the ELZ, and existing understory vegetation shall not cleared or removed.

- A single tractor crossing of the ELZ may be created so that heavy equipment may cross the zone to remove standing or down Bishop pine trees located west of the watercourse.
- Non-native and invasive plants, if any, may be removed from the ELZ.

Item (2)(D), Disposal of slash and woody debris resulting from timber operations

The Timber Operator shall be the responsible party for the treatment of logging slash and woody debris. Responsibility for treatment of logging slash and woody debris may be assumed by the landowner, provided that the landowner acknowledges in writing to the Director at the time of notice such responsibility and specific slash and woody debris treatment requirements and timing.

- (1) Unless otherwise required, slash greater than one inch in diameter and greater than two feet long, and woody debris, except pine, shall receive full treatment no later than April 1 of the year following its creation, or within one year from the date of acceptance of the conversion exemption by the Director, whichever comes first.
- (2) All pine slash three inches and greater in diameter and longer than four feet

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- must receive initial treatment if it is still on the parcel within 7 days of its creation.
- (3) All pine woody debris longer than four feet must receive an initial treatment prior to full treatment.
 - (4) Initial treatment shall include limbing woody debris and cutting slash and woody debris into lengths of less than four feet, and leaving the pieces exposed to solar radiation to aid in rapid drying.
 - (5) Full treatment of all pine slash and woody debris must be completed by March 1 of the year following its creation, or within one year from the date of acceptance of the conversion exemption by the Director, whichever comes first.
 - (6) Full slash and woody debris treatment may include any of the following:
 - a. burying;
 - b. chipping and spreading;
 - c. piling and burning; or
 - d. removing slash and woody debris from the site for treatment in compliance with (a)-(b).

Slash and woody debris may not be burned by open outdoor fires except under permit from the appropriate fire protection agency, if required, the local air pollution control district or air quality management district. The burning must occur on the property where the slash and woody debris originated.

- (7) Slash and woody debris, except for pine, which is cut up for firewood shall be cut to lengths 24 inches or less and set aside for drying by April 1 of the year following its creation. Pine slash and woody debris which is cut up for firewood shall be cut to lengths of 24 inches or less and set aside for drying within seven days of its creation.

All treatment work must be completed prior to the expiration date for the conversion exemption.

- (8) Any treatment which involves burning of slash or woody debris shall comply with all state and local fire and air quality rules.
- (9) This section does not supersede more restrictive treatments or time frames within a Forest district or subdistrict.

Item (2)(H), No sites of rare, threatened or endangered plants or animals shall be disturbed, threatened, or damaged and no timber operations shall occur within the buffer zone of a sensitive species as defined in 14 CCR 895.1.

Prior to inspecting the site the RPF queried the California Natural Diversity

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Database (CNDDDB) and the California Native Plant Society's Inventory of Rare and Endangered Plants for information on known rare, threatened or endangered plants within or in the vicinity of the project area. No known rare, threatened or endangered plants or animals, or Board of Forestry listed sensitive species were reported on or in the vicinity of the project site.

On August 23, 2010 the RPF, accompanied by CAL-FIRE certified archaeological investigator Andrew Wodnik, inspected the project site. A diligent search of the subject property failed to identify any listed plants or animals, although habitat for some species does exist. No historic or pre-historic sites were observed by Mr. Wodnik. A copy of the Archaeological Records Check request and the response from the Northwest Information Center are attached. A complete archaeological survey report will be submitted by Mr. Wodnik after this Notice has been assigned a file number.

(6), Documentation of feasibility of intended conversion:

The proposed conversion to a residential home site is feasible based on the extent of vegetation removal, required site preparation, suitability of soils, slope, aspect, and microclimate.

A. Extent of the vegetation removal and site preparation required for the conversion.

The maximum extent of vegetation removal will be to clear 0.9 acres of the parcel in order to provide for a residential home site. The vegetation on the site consists primarily of Bishop pine and associated brush species. The stand age is estimated to be between 70 and 80 years of age with sign of senescence. The Bishop pine primarily ranges from 10" to 20" DBH and are in declining health. A large pocket of dead pine trees exists in the western portion of the property and extends into the neighboring property.

The vegetation removed will be burned on site, chipped, or removed to a landfill. The preferred method of site preparation will be to pile and burn the waste material.

B. Suitability of soils, slope, aspect, and microclimate for the stated non-timber use.

Soils in the area have been identified from the Mendocino County soil survey as: Abalobadiah-Bruhel-Vizcaino complex, 30 to 50 percent. This complex composition is 35 percent Abalobadiah, 30 percent Bruhel, 25 percent Vizcaino, and 6 percent other minor components. The Abalobadiah soil type is a well drained soil with a depth to bedrock of 20 to 40 inches. The Bruhel soil type is a well drained soil with a depth to bedrock of 40 to 60 inches. The Vizcaino soil type is also a well drained soil type with a depth to bedrock of 12 to 20 inches. The depth to the water table for the Abalobadiah-Bruhel-Vizcaino complex is greater than 80 inches.

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The slope of the conversion site ranges from 10 to 30 percent with a primarily western aspect. Within 300 feet of the proposed conversion area, there are 15 different parcels. All of the parcels are zoned rural residential and the largest parcel is 2.8 acres. The majority of the parcels are less than one acre. The property is available for development with a residential home site by the County of Mendocino; it is identified in the Mendocino County Assessor's records as a Residential Lot zoned Rural Residential [RR5 (RR2)].

The microclimate of the proposed project area is influenced by the western aspect of the area and the nearby ocean. The proximity to the ocean will give the site fog, strong frontal storms, and wind in the winter. The summers will be characterized by fog, wind, and cooler days.

Property Photographs:



Entrance to property from Fish Rock Road at southeast corner of property. Access road was build in accordance with an approved encroachment permit issued by the County of Mendocino. Some clearing of understory brush has occurred.

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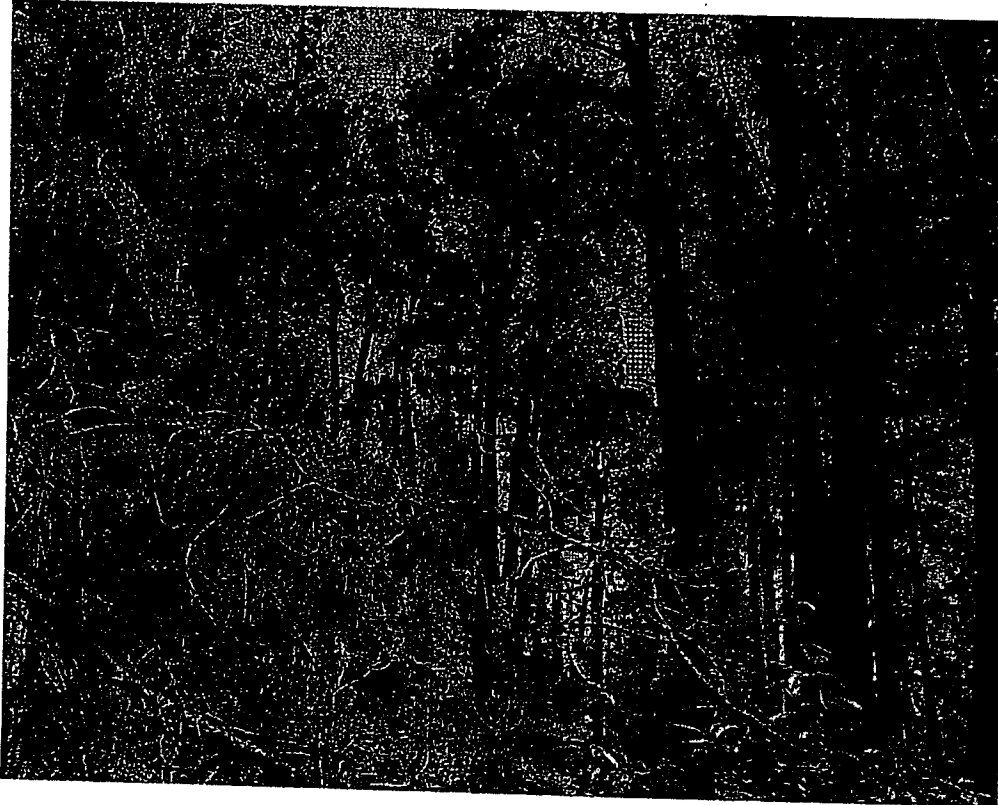
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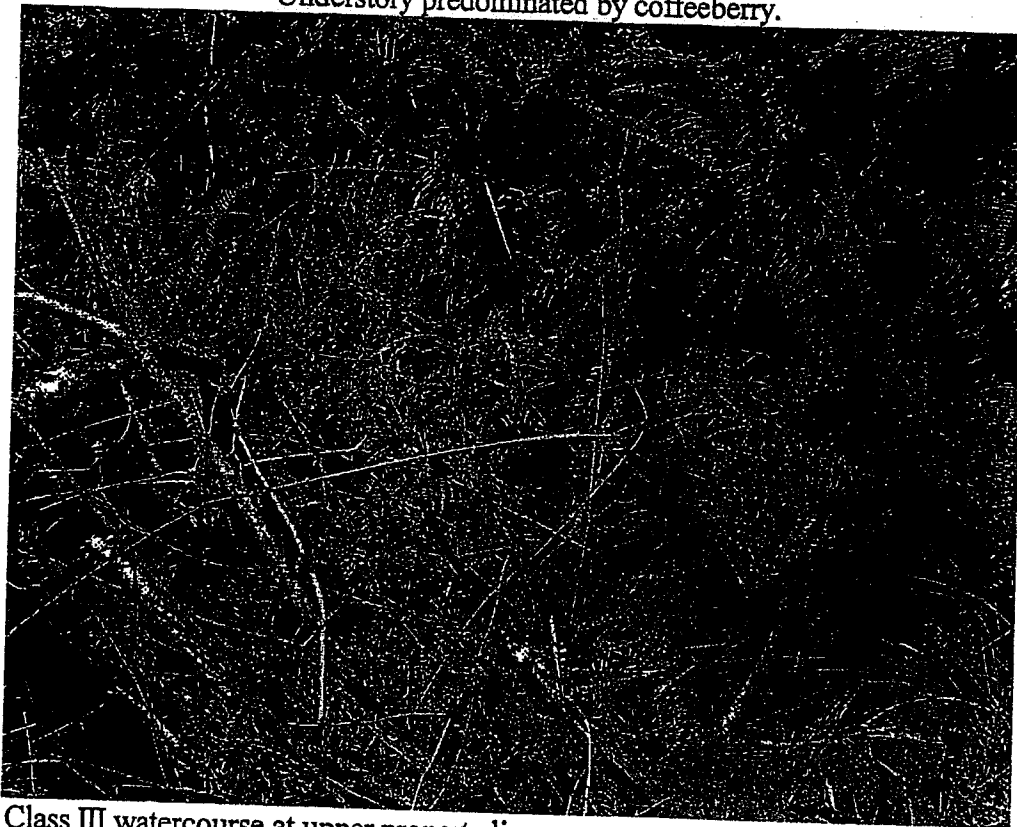
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Looking east into property from near southwestern property line at old, decadent Bishop pine stand.
Understory predominated by coffeeberry.



View of Class III watercourse at upper property line.

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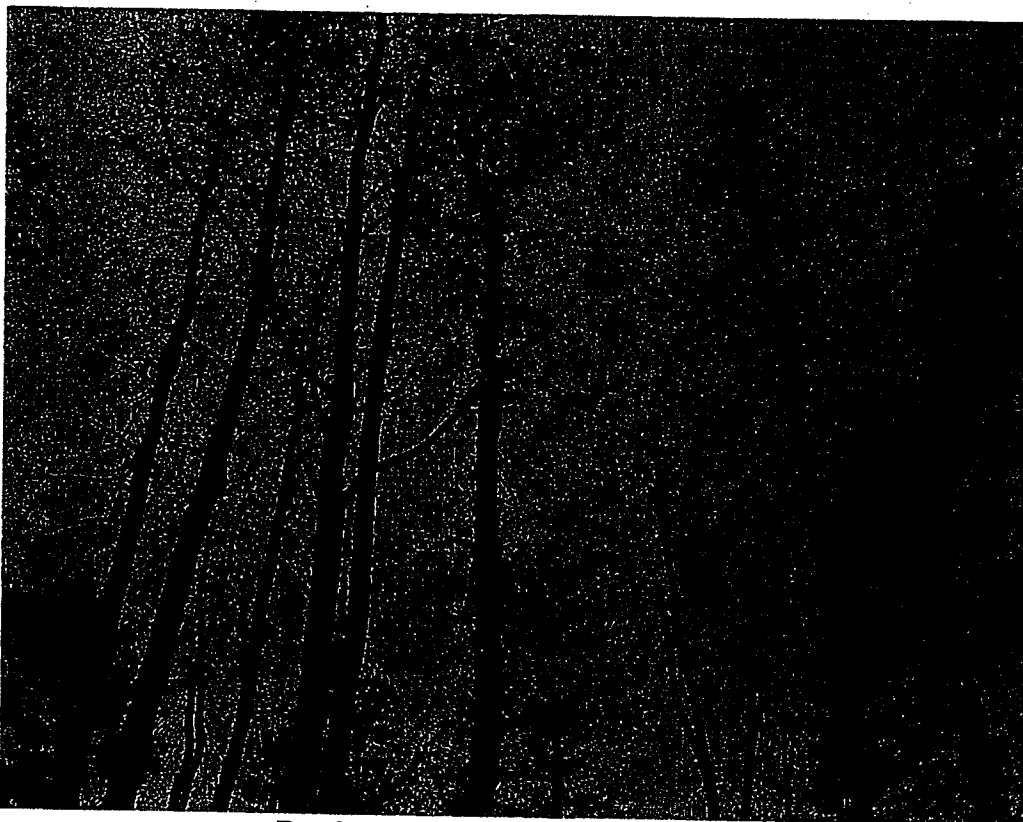
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Looking northwest from southwest property corner of dead & dying Bishop pine trees.



Dead trees along Class III watercourse

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Public Notice & Map posted 10/16/2010. Note County Encroachment Permit notice posted on left

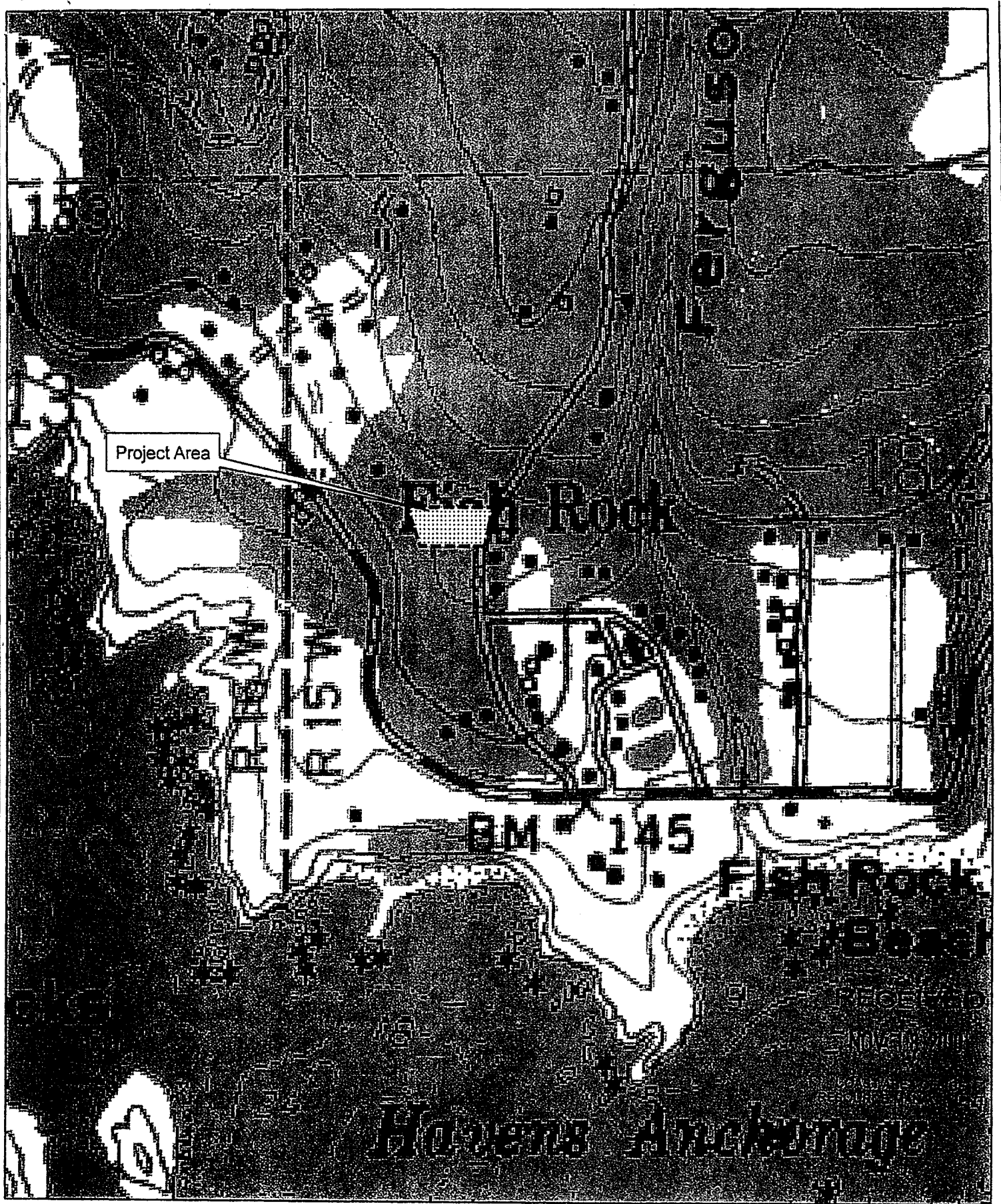


Second Public Notice & Map posted 10/16/2010. View from Fish Rock Road.

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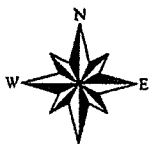


Project Area

Fish Rock

BM 145

Haven's Anchorage



1:6,000

1 inch = 500 feet

RECEIVED Project Location Map

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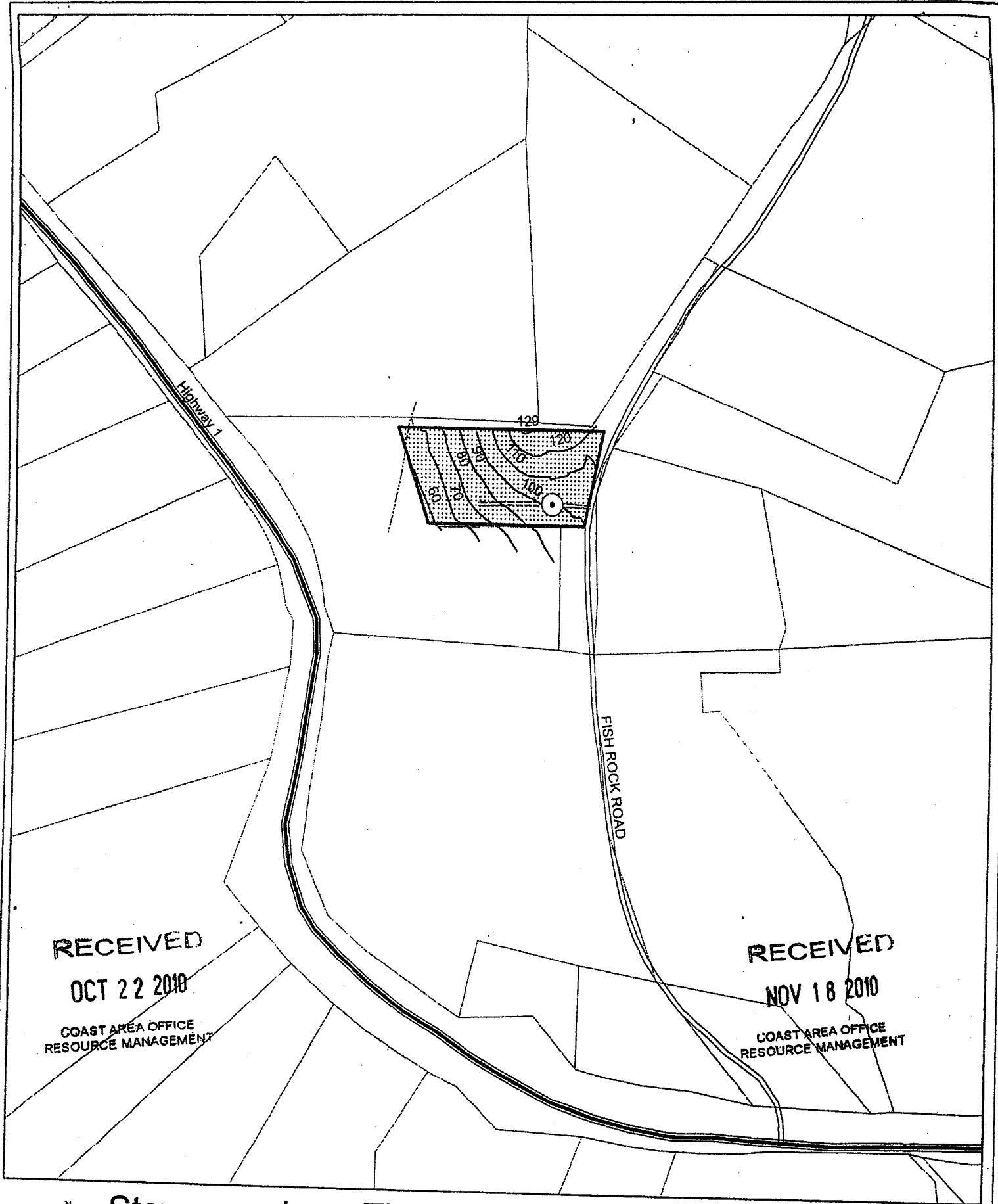
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Stevenson Property
46800 Fish Rock Road
Gualala, CA 95445

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Portion of
Section 18, T11N, R15W, M.D.B.M
Gualala, CA U.S.G.S Quad map



Stevenson Less Than 3 Acre Conversion Site Map



1:2,400

1 inch = 200 feet

Stevenson Conversion
Portion of Section 18 T11N R15W

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Legend

- Landing
- Streams
- Road
- Property Boundary
- Conversion Boundary
- Parcels
- Public Roads
- STATE

Environmental Resource Solutions, Inc.

October 18, 2010

EXAMPLE
Letter
mailed

Lawrence and Joyce Gaudet
PO Box 1164
Gualala, CA 95445

Dear Landowner,

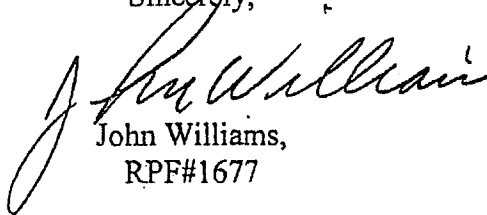
Environmental Resource Solutions, Inc. has prepared a Less than 3-Acre Conversion Exemption Notice for the Stevenson property for development of a residential home site. The Notice will be submitted to CAL FIRE. The Forest Practice Rules require I provide notification to you that a Conversion Exemption is being submitted and that certain information be provided to you.

The project is located approximately 1.5 miles north of Anchor Bay, CA. The legal description is a portion of Section 18, Township 11 North, Range 10 West, MDB&M. The site address is 46800 Fish Rock Rd., Gualala, CA. It is further identified as Mendocino County Assessor's Parcel Number 144-012-10-00.

A copy of the neighborhood notice is included in this correspondence, which contains the information required by the Forest Practice Rules 14 CCR 1104.1(a)(3)(A-C), together with a project location map and a detailed site map of the project site location.

If you have any questions concerning the proposed Conversion Exemption, please contact me at the address or phone number below, or you may contact CAL FIRE, Mendocino Unit, at (707) 459-7440.

Sincerely,


John Williams,
RPF#1677

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**Notification of Conversion Exemption
Timber Operations
14 CCR 1104.1(a)**

The landowner named below is applying for a conversion exemption permit to convert timberland of less than 3 acres to a non-timber use (homesite) in accordance with 14 CCR 1104.1(a) of the Forest Practice Rules. The information described below provides information required under section 1104.1(a)(3) of the rules.

Date of Posting: October 16, 2010

Timberland Owner: Irving Stevenson
5424 Bentley Way
Carmichael, CA. 95608
916-769-1321

Licensed Timber Operator: Donald Sorenson
P.O. Box 612
Point Arena, CA 95468
(707) 882-2504

Register Professional Forester: John W. Williams, RPF#1677
Environmental Resource Solutions, Inc.
2300 Northpoint Parkway
Santa Rosa, CA. 95407
707-566-7510

Project Location: 46800 Fish Rock Road
Gualala, CA. 95445

Parcel Number: 144-012-10-00

Legal Description Portion of Section 18, T11N, R15W

Agency Responsible for Land Use Change Mendocino County Planning & Building Services

• **Designated County Representative** None

Agency Responsible for Administration of Conversion Exemption California Department of Forestry and Fire Protection

Project Description This project will convert 0.9 acres of timberland to a residential home site.

This statement is to certify that the proposed conversion exemption is a one-time conversion of less than 3 acres to a non-timber growing use and that there is a bona-fide intent to undertake and complete the proposed conversion in conformance with the provisions of 14 CCR 1104.1(a) of the Forest Practice Rules. The new non-timber growing use for the project site will be a residential homesite.

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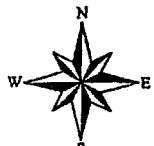
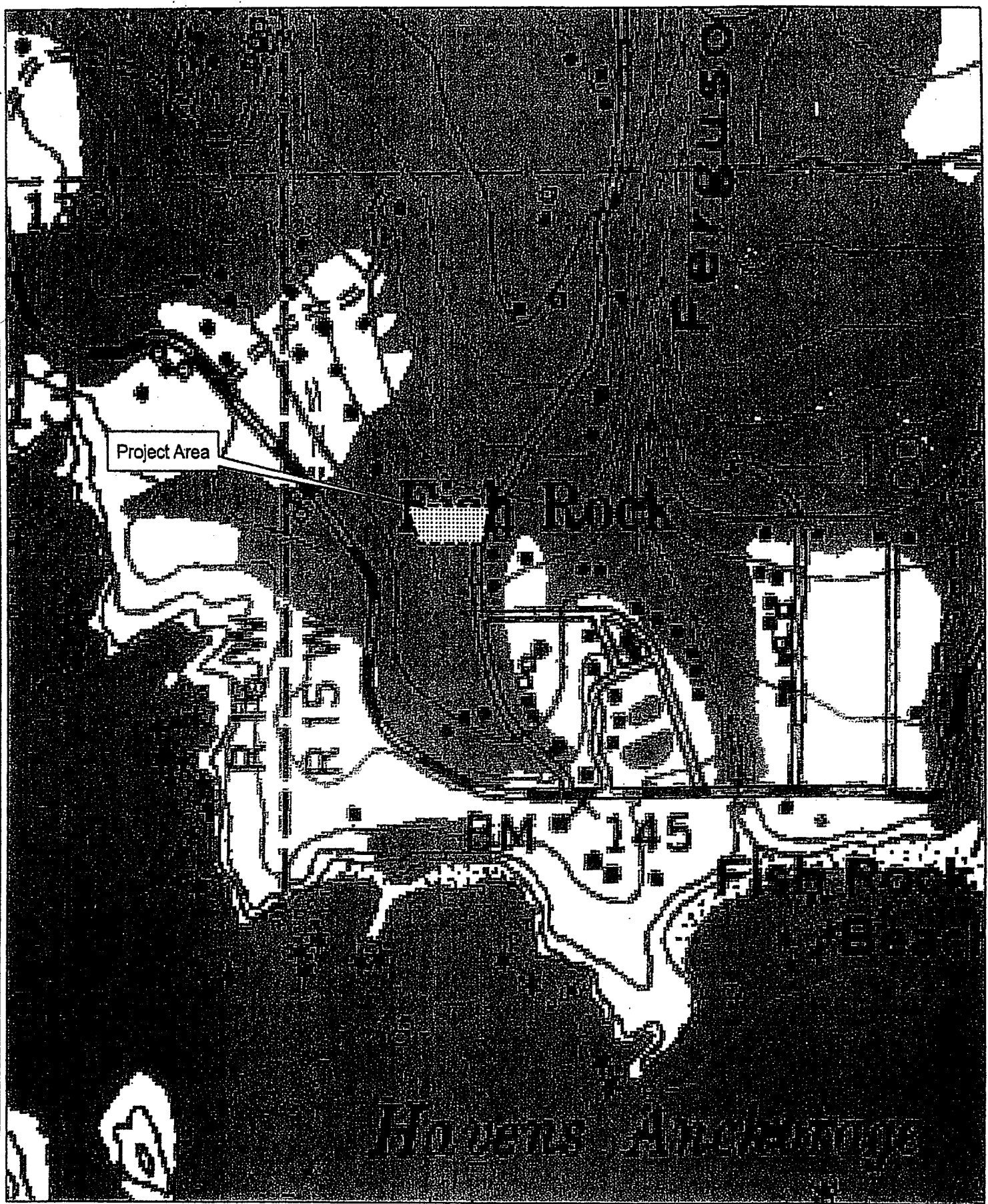
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1:6,000

1 inch = 500 feet

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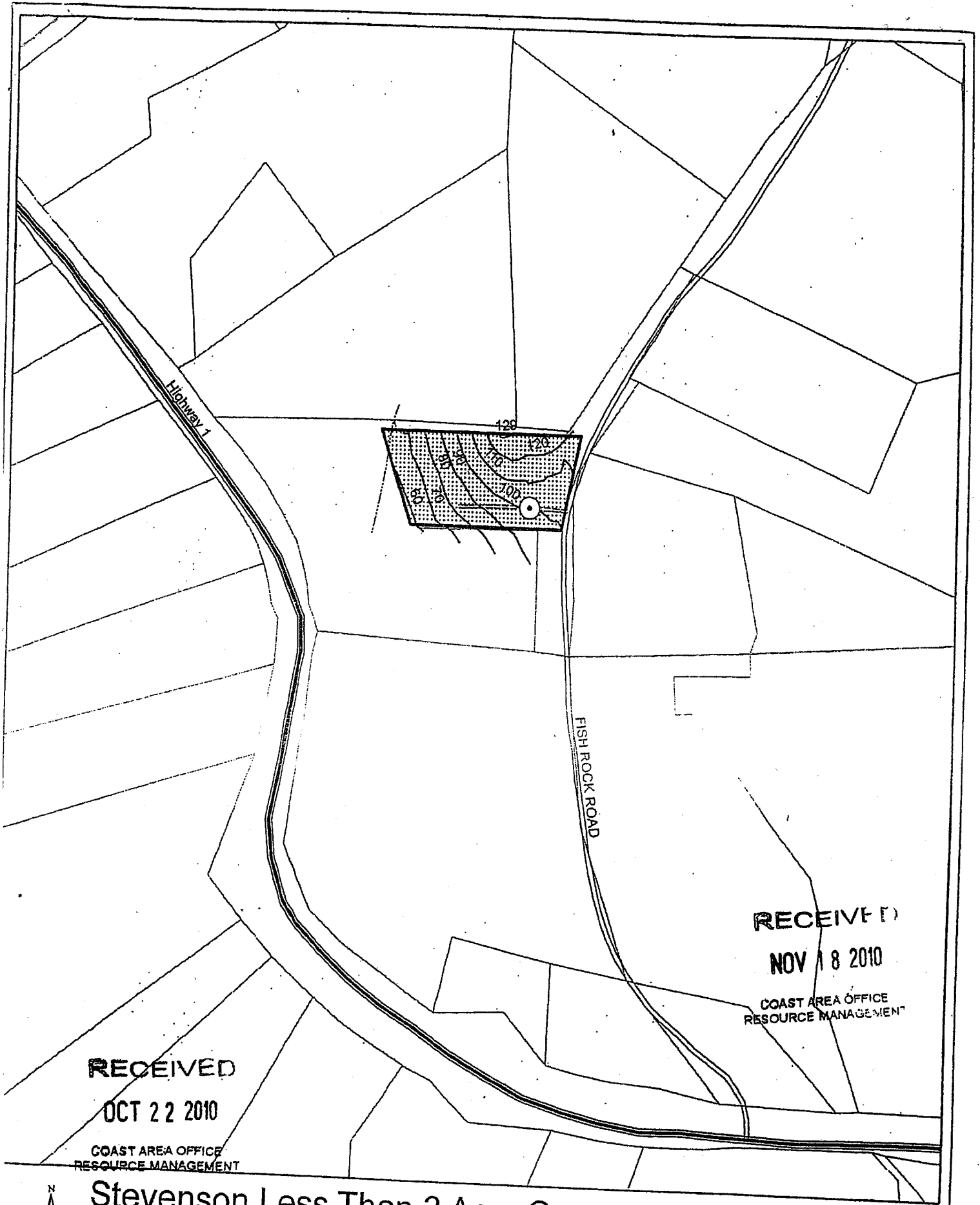
Project Location Map

Stevenson Property
46800 Fish Rock Road
Gualala, CA 95445


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




Portion of
Section 18, T11N, R15W, M.D.B.M
Gualala, CA U.S.G.S Quad map



Stevenson Less Than 3 Acre Conversion Site Map


 1:2,400
 nch = 200 feet

Stevenson Conversion
 Portion of Section 18 T11N R15W

- Legend**
-  Landing
 -  Streams
 -  Road
 -  Conversion Boundary
 -  Parcels
 -  Public Roads

NOTE

Information concerning archaeological sites has been removed from the **IRVING STEVENSON <3 acre conversion exemption received 10/22/10** in accordance with the policy of the Office of Historic Preservation as adopted by the State Historical Resources Commission under the authority of Public Resources Code 5020.4.

Copies of the information have been sent to the following locations to facilitate review of the project:

1. CDF field unit – Willits
2. Reviewing Archaeologist, Santa Rosa (Region Office)

The original copy of this material is maintained in a confidential file at CDF Northern Region Headquarters, 135 Ridgway Avenue, Santa Rosa, CA 95401.

12 PAGES RECEIVED 10/22/10

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